



SPRINGFIELD

NEBRASKA

CITY COUNCIL AGENDA

Tuesday, May 5, 2026, at 7:00 p.m.
Springfield City Hall
170 North 3rd Street

CALL TO ORDER

- Public announcement that a copy of the Nebraska Open Meetings Law is posted in the entry to the meeting room
- Roll call
- Pledge of Allegiance

CONSENT AGENDA

All consent agenda items are approved in one motion unless removed by a Council Member. Removed items will be placed under the Regular Agenda for consideration and action by the Council.

1. Approve Minutes of the April 21, 2026, Council Meeting
2. Approve Claims and Payroll
3. Waive the Community Building rental fee for the Sarpy County Agricultural Society's board member appreciation dinner on Tuesday, July 28, 2026
4. Waive Springfield Municipal Code §10-701 and approve fireworks stand licenses for:
Wild Willy's Fireworks, LLC – 750 Park Drive
Wild Willy's Fireworks, LLC – Railroad Avenue & Main Street
Kracklin Kirks Fireworks – 1st & Main Streets
5. Consider approval of a Special Designated Liquor License to GC Enterprises, LLC d/b/a Mickey's Tavern for the Springfield Days Beer Garden event on June 13, 2026, from 5:00 p.m. to 10:00 p.m. at the Sarpy County Fairgrounds, 100 Main Street, Springfield
6. Consider approval of a Special Designated Liquor License to Blind Pig, LLC for the Springfield Days Cornhole Tournament event on June 13, 2026, from 8:00 a.m. to Midnight at the Sarpy County Fairgrounds 4H Building, 100 Main Street, Springfield

REGULAR AGENDA

1. Sarpy County Sheriff's Monthly Service Report
2. Conduct a **Public Hearing** for a zone change application filed by Scannell Properties LLC, subdivider, and Alvin & Nancy Glesmann Trust, owner, requesting a change of zoning classification from AR Agriculture Residential District to BP Business Park District on property legally described as the West One-Half of the Northwest Quarter, excluding right-of-way, of Section 12, Township 13 North, Range 11 East of the 6th P.M., Sarpy County, Nebraska, consisting of approximately 72.27 acres, more or less, and generally located at the southeast corner of 144th Street (Hwy 50) & Capehart Road, Springfield, NE 68059
3. Conduct a **Public Hearing** for a preliminary plat (Lots 1-3 and Outlot A, Springfield Gateway Park) filed by Scannell Properties LLC, subdivider, and Alvin & Nancy Glesmann Trust, owner, on property legally described as the West One-Half of the Northwest Quarter, excluding right-of-way, of Section 12, Township 13 North, Range 11 East of the 6th P.M., Sarpy County, Nebraska, consisting of approximately 72.27 acres, more or less, and generally located at the southeast corner of 144th Street (Hwy 50) & Capehart Road, Springfield, NE 68059
4. Consider approval of **ORDINANCE NO. 1220 AN ORDINANCE TO CHANGE THE ZONING CLASSIFICATION FROM AR AGRICULTURE RESIDENTIAL DISTRICT TO BP BUSINESS PARK DISTRICT ON PROPERTY LEGALLY DESCRIBED AS THE WEST ONE-HALF OF THE NORTHWEST QUARTER, EXCLUDING RIGHT-OF-WAY, OF SECTION 12, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, CONSISTING OF APPROXIMATELY 72.27 ACRES, MORE OR LESS, AND GENERALLY LOCATED AT THE SOUTHEAST CORNER OF 144TH STREET (HWY 50) & CAPEHART ROAD, SPRINGFIELD, NE 68059; AND TO PROVIDE FOR THE EFFECTIVE DATE HEREOF**
5. Consider approval of **Resolution 2026-19** approving the preliminary plat for Lots 1-3 and Outlot A, Springfield Gateway Park
6. Consider approval of **Resolution 2026-20** approving the Sarpy County and Cities Wastewater Agency (SCCWWA) proposed FY2026-2027 budget
7. Consider approval of a bid for epoxy repairs at the water tower
8. Consider approval of a bid for the construction of pickleball courts at City Park
9. Consider approval of a bid for the construction of a roof over an existing material bay at the city's maintenance facility
10. Discuss a request from Vertical Bridge to amend the lease agreement for the telecommunications tower located at the city's water tower site on Platteview Road

11. Consider a request from Brenda Robak, 240 N 1st Street #10, to purchase a bench with a plaque to be placed by the butterfly garden along the Springfield/MoPac Trail
12. Discuss water meter replacement procedures

DEPARTMENT REPORTS

1. Water & Sewer Department – Mike Neitzel
2. Library & Community Building – Michael Herzog
3. Parks Department & Community Events – Kacie Murtha
4. Street Department – Dan Craney
5. Mayor’s Report – Bob Roseland
6. City Staff Reports

The Mayor and City Council reserve the right to adjourn into executive session per Section 84-1410 of the Nebraska Revised Statutes.

ADJOURNMENT



SPRINGFIELD

NEBRASKA

CITY COUNCIL AGENDA

Tuesday, April 21, 2026, at 7:00 p.m.
Springfield City Hall
170 North 3rd Street

CALL TO ORDER

- Public announcement that a copy of the Nebraska Open Meetings Law is posted in the entry to the meeting room
- Roll Call
- Pledge of Allegiance

CONSENT AGENDA

All consent agenda items are approved in one motion unless removed by a Council Member. Removed items will be placed under the Regular Agenda for consideration and action by the Council.

1. Approve Minutes of the April 7, 2026, Council Meeting
2. Approve Claims
3. Approve Treasurer's Report
4. Consider approval of the following items for Springfield Days 2026 that is scheduled for June 12-14:
 - a. Close streets for activities (i.e., fun run, parade, children's activities, food trucks, beer garden, worship service)
 - b. Waive the noise ordinance
 - c. Provide financial assistance for insurance and fireworks (\$5,275 for fireworks)
 - d. Approve a fireworks display by J&M Fireworks on June 13
 - e. Waive the Community Building rental fee
 - f. Allow the use of Urban Park for activities
 - g. Allow the use of the maintenance facility for storage of event items

REGULAR AGENDA

1. Approve **Resolution No. 2026-18** appointing Jeff Palik, P.E. with Olsson, to serve as the city's new street superintendent
2. Consider a request from Bill and Laverna Sayer, 380 Vine Street, to purchase a bench with plaque to be placed along the Springfield / MoPac Trail
3. Consider hiring a seasonal maintenance worker for the 2026 season
4. Consider projects for the FY 2026-2027 budget year

DEPARTMENT REPORTS

1. Water & Sewer Department – Mike Neitzel
2. Library & Community Building – Michael Herzog
3. Parks Department & Community Events – Kacie Murtha
4. Street Department – Dan Craney
5. Mayor's Report – Bob Roseland
6. City Staff Reports

The Mayor and City Council reserve the right to adjourn into executive session per Section 84-1410 of the Nebraska Revised Statutes.

ADJOURNMENT

MINUTES

A regular meeting of the Mayor and Council of the City of Springfield, Nebraska was held at 7:00 p.m. on Tuesday, April 21, 2026, at City Hall. Present were Mayor Bob Roseland; Council Members: Mike Neitzel, Michael Herzog, Kacie Murtha, Dan Craney. Notice of this meeting was given in advance by posting in three public places, one of the designated methods of giving notice. Notice of this meeting was given in advance to the Mayor and all Council Members and a copy of their receipt of notice is attached to these Minutes. Availability of the agenda was communicated in the advance notice and in the notice to the Mayor and Council of this meeting. All proceedings hereafter shown were taken while the convened meeting was open to the public. The Mayor publicly stated to all in attendance that a current copy of the Nebraska Open Meetings Act was

available for review and indicated the location of such copy posted in the room where the meeting was being held.

Consent Agenda

Motion by Herzog, seconded by Neitzel, to approve the Consent Agenda. AYES: Neitzel, Herzog, Murtha, Craney. NAYS: None. Motion carried.

Check #	Account ID	Account Description	Name	Debit Amount
General				
50972	8010-10-10	Office Supplies-Gen	Amazon Business	66.53
50973	7480-10-10	Janitorial-Gen	BSC Janitorial	360.00
50978	7030-10-10	Prof Svcs-Planning-Gen	Sightline Planning and Zoning LLC	3,825.00
EFTPS	7270-10-10	Insurance-Gen	Travelers	1,040.57
EFTPS	7270-10-10	Insurance-Gen	Nebraska Assigned Risk Pool	337.11
			Total	5,629.21
Sales Tax				
50975	9176-15-10	Soccer Fields-SlsTax	Confluence, Inc	9,902.50
			Total	9,902.50
Library				
50972	8130-20-10	R&M Building-Lib	Amazon Business	39.98
50974	7455-20-10	Internet-Lib	Charter Communications	29.99
EFTPS	7270-20-10	Insurance-Lib	Travelers	547.44
EFTPS	7270-20-10	Insurance-Lib	Nebraska Assigned Risk Pool	177.36
			Total	794.77
Park				
50972	8010-30-10	Office Supplies-Prk	Amazon Business	21.49
50976	8160-30-10	R&M Grounds-Prk	Michael Todd & Company	95.56
EFTPS	7270-30-10	Insurance-Prk	Travelers	1,416.46
EFTPS	7270-30-10	Insurance-Prk	Nebraska Assigned Risk Pool	458.89
			Total	1,992.40
Soccer Complex				
50972	8010-35-10	Office Supplies-Scr	Amazon Business	21.49
EFTPS	7270-35-10	Insurance-Scr	Travelers	1,416.46
EFTPS	7270-35-10	Insurance-Scr	Nebraska Assigned Risk Pool	458.89
			Total	1,896.84
Community Building				
EFTPS	7270-40-10	Insurance-CommBldg	Travelers	506.73
EFTPS	7270-40-10	Insurance-CommBldg	Nebraska Assigned Risk Pool	164.17
			Total	670.90
Water				

50950	7230-50-20	Postage/Shipping-Wtr	US Postal Service	229.97
50971	7040-50-20	Prof Svcs-Other-Wtr	Sarpy County Register of Deeds	10.00
50972	8010-50-20	Office Supplies-Wtr	Amazon Business	39.89
50980	7330-50-20	Telephone-Wtr	Verizon Wireless	49.46
50980	9155-50-20	GIS-Wtr	Verizon Wireless	6.67
EFTPS	7270-50-20	Insurance-Wtr	Travelers	763.69
EFTPS	7270-50-20	Insurance-Wtr	Nebraska Assigned Risk Pool	247.41
			Total	1,347.09
Sewer				
50950	7230-60-30	Postage/Shipping-Swr	US Postal Service	229.97
50980	7330-60-30	Telephone-Swr	Verizon Wireless	8.63
50980	9155-60-30	GIS-Swr	Verizon Wireless	6.67
EFTPS	7270-60-30	Insurance-Swr	Travelers	1,494.65
EFTPS	7270-60-30	Insurance-Swr	Nebraska Assigned Risk Pool	484.22
			Total	2,224.14
Street				
ACH	6051-70-40	Std FICA withholding	PLIC - SBD Grand Island	126.91
50972	8010-70-40	Office Supplies-Str	Amazon Business	39.89
50976	8225-70-40	R&M Street Signs&Posts-Str	Michael Todd & Company	1,246.48
50977	8030-70-40	Supplies-Str	Nippon Sanso Matheson, Inc.	155.27
50979	8225-70-40	R&M Street Signs&Posts-Str	Tractor Supply Co.	17.99
50980	7330-70-40	Telephone-Str	Verizon Wireless	8.63
50980	9155-70-40	GIS-Str	Verizon Wireless	6.68
EFTPS	7270-70-40	Insurance-Str	Travelers	794.00
EFTPS	7270-70-40	Insurance-Str	Nebraska Assigned Risk Pool	257.23
			Total	2,653.08
Keno				
50981	7360-80-70	State Lottery Tax	Nebraska Department of Revenue	3,496.00
			Total	3,496.00
			Grand Total	30,606.93

Regular Agenda

Agenda Item 1. Council Member Neitzel introduced Resolution 2026-18 and moved its adoption. Council Member Craney seconded the forgoing motion and on roll call on the passage and adoption of said resolution, the following voted AYE: Neitzel, Herzog, Murtha, Craney. The following voted NAY: None. Whereupon the Mayor declared said motion carried and said resolution passed and adopted. A true, correct and complete copy of said resolution is as follows.

**RESOLUTION
2026-18**

Appoint New Municipal Street Superintendent

BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF SPRINGFIELD, NEBRASKA that the Mayor of the City of Springfield, Nebraska, with the consent of the City Council, hereby appoints Jeff Palik, Olsson, License No. S-1269, Class A, By Contract, as the municipal street superintendent, who shall hold this office effective immediately through December 31, 2026, unless sooner removed by the Mayor with approval of the City Council as per Springfield Municipal Code.

Introduced and Passed this 21st day of April, 2026.

City Council Member Neitzel moved the adoption of said resolution.
City Council Member Craney seconded the motion.

Record of Vote:

Ayes: Neitzel, Herzog, Murtha, Craney

Nays: None

Abstain: None

Absent: None

Resolution adopted, signed and billed as adopted.

Approved: Robert Roseland, Mayor

SEAL

Attest: Barbara Henninger, City Clerk

Agenda Item 2. Motion by Neitzel, seconded by Craney, to approve a request from Bill and Laverna Sayer, 380 Vine Street, to place a bench with plaque along the Springfield/MoPac Trail between two existing benches on Railroad Avenue, as long as the bench and plaque match the other benches and plaques along the trail. AYES: Neitzel, Herzog, Murtha, Craney. NAYS: None. Motion carried.

Agenda Item 3. Motion by Neitzel, seconded by Herzog, to authorize city staff to post notice for the hiring of two seasonal ground and maintenance workers for the 2026 summer season. AYES: Neitzel, Herzog, Murtha, Craney. NAYS: None. Motion carried.

Agenda Item 4. Council discussed the FY 2026-2027 budget.

Department Reports

Agenda Item 1. Neitzel reported the maintenance crew completed lead pipe service line testing for shutoffs located in the sidewalks. They have 11 driveways to complete. They will give affected residents a one week notice prior to work commencing. Neitzel stated that the landscaping around the electronic sign looks good.

Agenda Item 2. Herzog reported that the library is in full swing with their spring events and they are getting ready for the summer reading program. The OMG Market that was held at the community building this past weekend went well.

Agenda Item 3. Murtha reported that the Springfield Creek Trails and Recreation Area Park Master Plan reveal went well. There is a QR code online for anyone who couldn't make the open house. The priority zones are the soccer complex and the trail connection to existing homes in Highview. Soccer practice is starting up. The soccer complex gate needs repair, as rodent got into the electrical panel. The town was hopping this past weekend with the OMG Market event and the vendor pop-up on Railroad Avenue. Murtha noted that the city needs to look at replacing the loading zone sign on North 1st Street to the west of the community building, as it is missing. There were people parking on the street during the event this past weekend making it hard to get through that intersection. The Blue Rose PRCA Charity Rodeo is scheduled for May 1 & 2 at the Sarpy County Fairgrounds.

Agenda Item 4. Craney reported that Bryan Cherry, Street Commissioner, put together a street repair plan for 2026 that includes 50% of the repairs (small projects) being completed by city staff and 50% of the repairs (large projects) being completed by a contractor. Craney would like to see us get on the contractor's schedule soon. Craney also stated that Cherry would like to stop plowing the non-paved alleys if there is less than two inches of snow as gravel is pushed out of the alley into the street creating issues.

Agenda Item 5. Mayor Roseland reported that the legislative session is over. He has a wastewater agency meeting Wednesday.

Agenda Item 6. Gottsch reported that the library is requesting to add one additional part-time employee for at least the summer months to cover hours missing due to personnel changes. Council was agreeable to posting notice for this position.

Adjournment

Motion by Herzog, seconded by Neitzel, to adjourn. AYES: Neitzel, Herzog, Murtha, Craney. NAYS: None. Meeting adjourned at 7:36 p.m. Motion carried.

I, the undersigned, City Clerk for the City of Springfield, Nebraska, hereby certify that the foregoing is a true and correct copy of proceedings had and done by the Mayor and Council on

April 21, 2026; that all of the subjects included in the foregoing proceedings were contained in the agenda for the meeting, kept continually current and readily available for public inspection at the office of the City Clerk; that such agenda items were sufficiently descriptive to give the public reasonable notice of the matters to be considered at the meeting; that such subjects were contained in said agenda for at least twenty-four hours prior to said meeting; that at least one copy of all reproducible material discussed at the meeting was available at the meeting for examination and copying by members of the public; that the said minutes from which the foregoing proceedings have been extracted were in written form and available for public inspection within ten working days and prior to the next convened meeting of said body; that all news media requesting notification concerning meetings of said body were provided advance notification of the time and place of said meeting and the subjects to be discussed at said meeting; and that a current copy of the Nebraska Open Meetings Act was available and accessible to members of the public, posted during such meeting in the room in which such meeting was held.

Barbara Henninger
City Clerk

_____	_____
Robert Roseland, Mayor	Date
_____	_____
Barbara Henninger, City Clerk	Date



SPRINGFIELD

NEBRASKA

MAYOR AND CITY COUNCIL REPORT
MAY 5, 2026 AGENDA

Agenda Item:	Subject:	Submitted By:
Consent Agenda Item 3	Waive the Community Building rental fee for the Sarpy County Agricultural Society's board member appreciation dinner on Tuesday, July 28, 2026	Barb Henninger City Clerk

Synopsis

Tyler Krapp, Sarpy County Agricultural Society Board Member, is requesting the waiver of the Community Building rental fee for an annual Sarpy County Agricultural Society board member appreciation dinner on Tuesday, July 28, 2026.

Krapp will submit the signed rental agreement, insurance, and security deposit, all of which are required even if Council waives the rental fee.

Recommendation

Council consideration.

Attachments

None



SPRINGFIELD

NEBRASKA

MAYOR AND CITY COUNCIL REPORT
MAY 5, 2026 AGENDA

Agenda Item:	Subject:	Submitted By:
Consent Agenda Item 4	Fireworks Stand Licenses	Barb Henninger City Clerk

Synopsis

The city has received fireworks stand license applications from
Wild Willy's Fireworks – Railroad Avenue & Main Street – Sarpy County Fairgrounds
Wild Willy's Fireworks – 750 Park Drive
Kracklin Kirks Fireworks – 101 W Main Street

Applications are complete – all state licenses, insurance forms, and fees have been submitted.

Recommendation

Staff recommends approval of all three licenses.

Attachments

Applications will be made available at the meeting.



SPRINGFIELD

NEBRASKA

MAYOR AND CITY COUNCIL REPORT
MAY 5, 2026 AGENDA

Agenda Item:	Subject:	Submitted By:
Consent Agenda Item 5	Consider approval of a Special Designated Liquor License to GC Enterprises, LLC d/b/a Mickey's Tavern for Springfield Days Beer Garden event on June 13, 2026, from 5:00 p.m. to 10:00 p.m. at the Sarpy County Fairgrounds, 100 Main St	Barb Henninger City Clerk

Synopsis

GC Enterprises, LLC d/b/a Mickey's Tavern is requesting a special designated liquor license for the Springfield Days Beer Garden on June 13, 2026, from 5:00 p.m. to 10:00 p.m. at the Sarpy County Fairgrounds, 100 Main Street, Springfield.

They have submitted a complete SDL-Local Recommendation Form and outdoor area diagram along with the required fees for their event.

Recommendation

Staff recommends approval.

Attachments

Special Designated Liquor License – Local Recommendation Form

SDL – LOCAL RECOMMENDATION

NEBRASKA LIQUOR CONTROL COMMISSION
301 CENTENNIAL MALL SOUTH
PO BOX 95046
LINCOLN, NE 68509-5046
PHONE: (402) 471-2571
FAX: (402) 471-2814
EMAIL: lcc.sdl.licensing@nebraska.gov
WEBSITE: www.lcc.nebraska.gov

158945

GC Enterprises LLC

License #

Licensee Name/Non-Profit Organization

Event location name: **Sarpy County Fair Pavillion**

Event address/location: **100 Main St, Springfield NE 68059**

Event Type: **Springfield Days - Beer Garden**

Event date(s): **06/13**

Event start time(s): **5:00PM**

Event end time(s): **10:00PM**

Indoor area to be licensed in length & width: _____ X _____

Outdoor area to be licensed in length & width: **78** X **67** (Must submit a diagram)

Estimated number of attendees: **200**

Alternate dates/times: _____

Alternate location name/location: _____

Type of alcohol to be served: Beer Wine _____ Distilled Spirits _____

Event contact name: **Tiffani Laufer** Event contact phone number: **402-740-3155**

Event contact Email: **Mickeysnebraska@gmail.com**

*Signature Authorized Representative: _____

Local Governing Body completes below:

The local governing body for the City of _____ **OR**
County of _____ approves the issuance of a Special Designated License as
requested above.

Local Governing Body Authorized Signature

Date

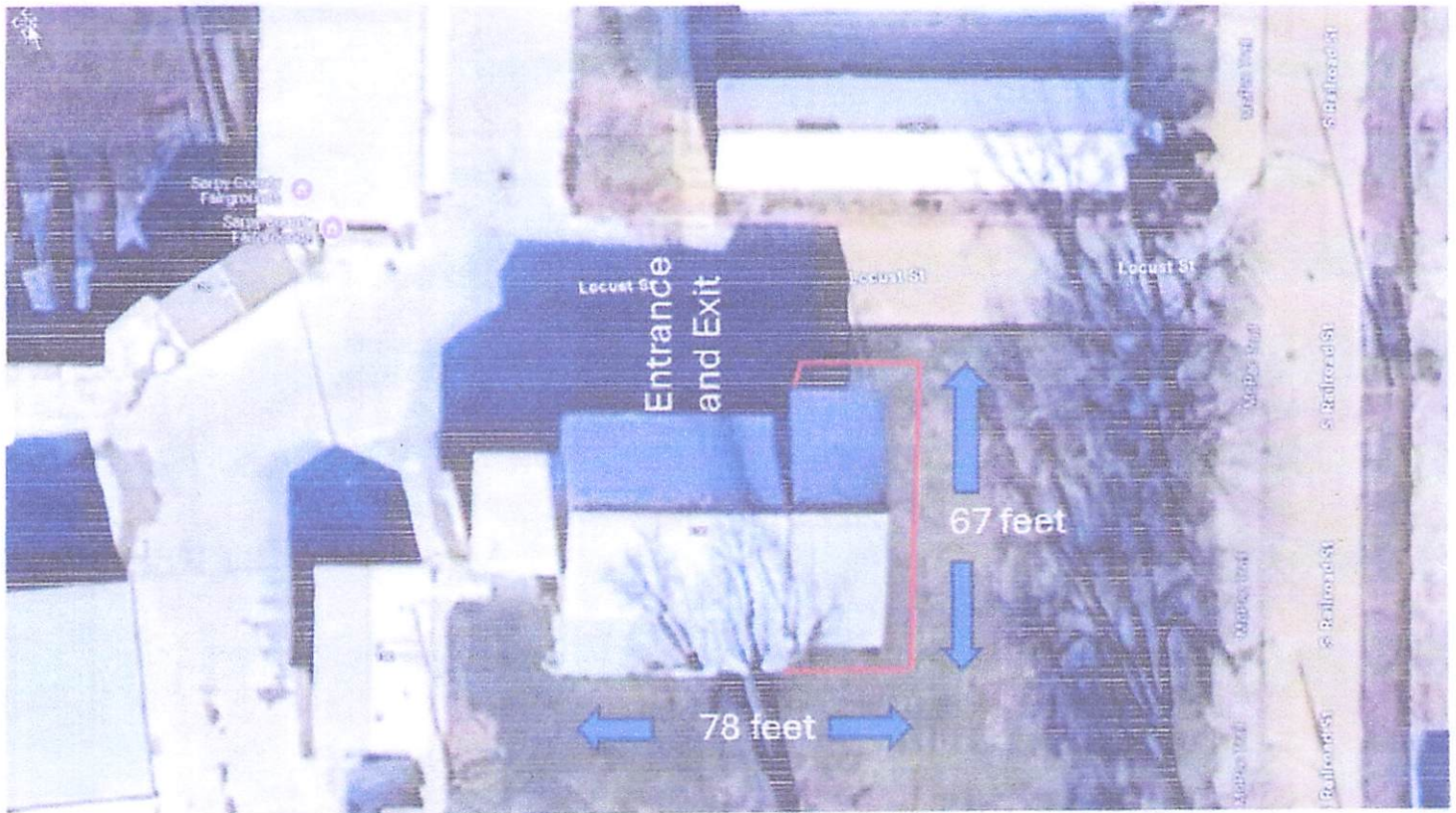
SDL – OUTDOOR AREA DIAGRAM

NEBRASKA LIQUOR CONTROL COMMISSION
301 CENTENNIAL MALL SOUTH
PO BOX 95046
LINCOLN, NE 68509-5046
PHONE: (402) 471-2571
FAX: (402) 471-2814
EMAIL: lcc_sdl_licensing@nebraska.gov
WEBSITE: www.lcc.nebraska.gov

- IF APPLICABLE, OUTDOOR AREA MUST BE CONNECTED TO INDOOR AREA IF INDOOR AREA IS LICENSED
- MEASUREMENT OF OUTER WALLS OF AREA TO BE LICENSED MUST INCLUDED LENGTH & WIDTH IN FEET

HOW AREA WILL BE PATROLLED: Two off duty officers in the beer garden.

Also have volunteer retired cops for security



Red line portrays 4' plastic fencing outside of the building structure.



SPRINGFIELD

NEBRASKA

MAYOR AND CITY COUNCIL REPORT
MAY 5, 2026 AGENDA

Agenda Item:	Subject:	Submitted By:
Consent Agenda Item 6	Consider approval of a Special Designated Liquor License to Blind Pig, LLC for the Springfield Days Cornhole Tournament event on June 13, 2026, from 8:00 a.m. to 12:00 a.m. at the Sarpy County Fairgrounds 4H Building, 100 Main St	Barb Henninger City Clerk

Synopsis

Blind Pig, LLC is requesting a special designated liquor license for the Springfield Days Cornhole Tournament on June 13, 2026, from 8:00 a.m. to 12:00 a.m. at the Sarpy County Fairgrounds 4H Building, 100 Main Street, Springfield.

They have submitted a complete SDL-Local Recommendation Form along with the required fees for their event.

Recommendation

Staff recommends approval.

Attachments

Special Designated Liquor License – Local Recommendation Form

SDL – LOCAL RECOMMENDATION

NEBRASKA LIQUOR CONTROL COMMISSION
301 CENTENNIAL MALL SOUTH
PO BOX 95046
LINCOLN, NE 68509-5046
PHONE: (402) 471-2571
FAX: (402) 471-2814
EMAIL: lcc.sdl.licensing@nebraska.gov
WEBSITE: www.lcc.nebraska.gov

156345

Blind Pig LLC

License #

Licensee Name/Non-Profit Organization

Event location name: **Sarpy County Fairgrounds** *4-H Building*

Event address/location: **100 Main Street, Springfield NE 68059**

Event Type: **Festival**

Event date(s): **6/13/26**

Event start time(s): **8am**

Event end time(s): **12am**

Indoor area to be licensed in length & width: **140** X **75**

Outdoor area to be licensed in length & width: _____ X _____ (Must submit a diagram)

Estimated number of attendees: **100**


Alternate dates/times: **none**

Alternate location name/location: **none**

Type of alcohol to be served: Beer Wine Distilled Spirits

Event contact name: **Alina Smart** Event contact phone number: **808-256-8389**

Event contact Email: **adobrenz@gmail.com**

*Signature Authorized Representative: 

Local Governing Body completes below:

The local governing body for the City of _____ OR
County of _____ approves the issuance of a Special Designated License as
requested above.

Local Governing Body Authorized Signature

Date



SPRINGFIELD

NEBRASKA

MAYOR AND CITY COUNCIL REPORT
MAY 5, 2026 AGENDA

Agenda Item:	Subject:	Submitted By:
Regular Agenda Items 2-5	Applications for Change of Zoning Classification and Preliminary Plat submitted by Scannell Properties LLC (“Subdivider”) and Alvin & Nancy Glesmann Trust (“Owner”) for property generally located at the Southeast Corner of 144 th Street (Hwy 50) & Capehart Road, Springfield, NE	Kathleen Gottsch City Administrator

Synopsis

Thompson Dreesen & Dorner (“TD2”) (“Agent”) submitted the following documents on March 9, 2026, on behalf of Scannell Properties LLC (“Subdivider”) related to the property legally described as a tract of land beginning at the W1/2 NW1/4 Exc ROW of Section 12, Township 13 N, Range 11 East of the 6th P.M., Sarpy County, Nebraska, owned by the Alvin & Nancy Glesmann Trust (“Owner”):

1. Request for Zone Change Application
2. Preliminary Plat Application

Additionally, the following exhibits were submitted:

1. Glesmann Owner Authorization Letter
2. Preliminary Plat & Exhibits
 - a. Paving Plan
 - b. General Obligation Paving Plan
 - c. Sanitary Sewer Plan
 - d. Sanitary Sewer Calculations
 - e. Sediment and Erosion Control Plan
 - f. Storm Sewer Plan
 - g. Post Construction Stormwater Management Plan
 - h. Water Main
 - i. Street Profiles
3. Preliminary Drainage Study
4. Source and Use of Funds

Owner/Subdivider/Agent request the following in order to subdivide the land into a residential development:

1. Change of the zoning classification from AR (Agricultural Residential) to BP (Business Park)
2. Preliminary Plat of Lots 1-3 and Outlot A, Springfield Gateway Park

The documents were forwarded to the Planning Review Team, which is comprised of Bill Seidler, Jr. (city attorney), Jeff Ray (city planner), Jeff Thompson (engineer for Sarpy County & Cities Wastewater Agency (SCCWWA)), Brian Schuele (city engineer with Olsson), MUD, NDOT, OPPD Land Management, Papio Missouri River Natural Resources District, Sarpy County (Admin/Engineering/Public Works), Sarpy County Emergency Management Agency, Sarpy County GIS, Sarpy County Planning, Sarpy County Sheriff, Chad Zimmerman (Springfield Fire Chief), and Ryan Saunders (Springfield Platteview Community Schools).

A copy of the synopsis of comments from the Planning Review team, as well as the submitted documents and exhibits, are attached.

Recommendation

The Springfield Planning Commission recommended approval of the rezone and preliminary plat subject to staff recommendations. Refer to staff comments in synopsis.

Attachments

Ordinance No. 1220

Resolution 2016-19

Synopsis of Comments

Springfield Gateway Park Sr. Conn Fee Calcs_3-11-26.pdf

Springfield Gateway Park Prelim Plat & Street Profiles COM 3-19.pdf

Springfield Gateway Park Streets 3-23-26.pdf

Request for Zone Change Application

Preliminary Plat Application

Glesmann Owner Authorization Letter

Preliminary Plat & Exhibits

Paving Plan

General Obligation Paving Plan

Sanitary Sewer Plan

Sanitary Sewer Calculations

Sediment and Erosion Control Plan

Storm Sewer Plan

Post Construction Stormwater Management Plan

Water Main

Street Profiles

Preliminary Drainage Study

Source and Use of Funds

ORDINANCE NO. 1220

AN ORDINANCE TO CHANGE THE ZONING CLASSIFICATION FROM AR AGRICULTURE RESIDENTIAL DISTRICT TO BP BUSINESS PARK DISTRICT ON PROPERTY LEGALLY DESCRIBED AS THE WEST ONE-HALF OF THE NORTHWEST QUARTER, EXCLUDING RIGHT-OF-WAY, OF SECTION 12, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, CONSISTING OF APPROXIMATELY 72.27 ACRES, MORE OR LESS, AND GENERALLY LOCATED AT THE SOUTHEAST CORNER OF 144TH STREET (HWY 50) & CAPEHART ROAD, SPRINGFIELD, NE 68059; AND TO PROVIDE FOR THE EFFECTIVE DATE HEREOF.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF SPRINGFIELD, SARPY COUNTY, NEBRASKA:

Section 1. Application. An application was filed by Scannell Properties LLC, applicant, and Alvin & Nancy Glesmann Trust, owner, requesting a change of zoning classification from AR Agriculture Residential to BP Business Park on property legally described as the West One-Half of the Northwest Quarter, excluding right-of-way, of Section 12, Township 13 North, Range 11 East of the 6th P.M., Sarpy County, Nebraska, consisting of approximately 72.27 acres, more or less, and generally located at the southeast corner of 144th Street (Hwy 50) & Capehart Road, Springfield, NE 68059.

Section 2. Approval to change the zoning classification from AR Agriculture Residential to BP Business Park on property legally described as the West One-Half of the Northwest Quarter, excluding right-of-way, of Section 12, Township 13 North, Range 11 East of the 6th P.M., Sarpy County, Nebraska. On April 14, 2026, the Springfield Planning Commission conducted a public hearing on the matter of changing the zoning classification from AR Agriculture Residential to BP Business Park and reported to the City Council that it recommended approval of the rezone. On May 5, 2026, the City Council opened a public hearing on said proposed changes and found and determined that the zoning classification from AR Agriculture Residential to BP Business Park was advisable and in compliance with the Springfield Comprehensive Plan. The City Council hereby approved said proposed change in zoning classification from AR Agriculture Residential to BP Business Park on property legally described as the West One-Half of the Northwest Quarter, excluding right-of-way, of Section 12, Township 13 North, Range 11 East of the 6th P.M., Sarpy County, Nebraska, contingent upon the final plat for this property being recorded with the Sarpy County Register of Deeds.

Section 3. Effective Date. This Ordinance shall be in full force and effect from and after passage, approval and publication as provided by law.

PASSED AND APPROVED THIS 5TH DAY OF MAY 2026.

Mayor

(SEAL)

Attest:

City Clerk

**RESOLUTION
2026-19**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SPRINGFIELD, NEBRASKA APPROVING A PRELIMINARY PLAT (LOTS 1-3 AND OUTLOT A, SPRINGFIELD GATEWAY PARK) OF A SUBDIVISION LOCATED ON THE WEST ONE-HALF OF THE NORTHWEST QUARTER, EXCLUDING RIGHT-OF-WAY, OF SECTION 12, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, CONSISTING OF APPROXIMATELY 72.27 ACRES, MORE OR LESS.

WHEREAS, Scannell Properties LLC, applicant, and Alvin & Nancy Glesmann Trust, owner, of the above-described property have made application for approval of a preliminary plat for proposed Lots 1-3 and Outlot A, Springfield Gateway Park; and

WHEREAS, the city planner, city engineer, city attorney, city administrator and other agencies have reviewed such application; and

WHEREAS, the Springfield Planning Commission held a public hearing on April 14, 2026, regarding the application and has made a recommendation of approval to the City Council of the preliminary plat for Lots 1-3 and Outlot A, Springfield Gateway Park, as it meets the general requirements of the zoning ordinance and subdivision regulations; and

WHEREAS, the City Council of the City of Springfield held a public hearing regarding such application on May 5, 2026, and is agreeable to the approval of the preliminary plat for Lots 1-3 and Outlot A, Springfield Gateway Park, contingent upon (1) final approval of the change of zoning classification from Agriculture Residential to Business Park on said property and (2) the final plat being recorded with the Sarpy County Register of Deeds.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Springfield hereby approves the preliminary plat of Lots 1-3 and Outlot A, Springfield Gateway Park, contingent upon (1) final approval of the change of zoning classification from Agriculture Residential to Business Park on said property and (2) the final plat being recorded with the Sarpy County Register of Deeds.

PASSED AND APPROVED THIS 5TH DAY OF MAY 2026.

City Council Member _____ moved the adoption of said resolution.
City Council Member _____ seconded the motion.

Record of Vote:

Ayes: _____

Nays: _____
Abstain: _____
Absent: _____

Resolution adopted, signed and billed as adopted.

Approved

Mayor

SEAL

Attest:

City Clerk



SPRINGFIELD

NEBRASKA

April 9, 2026

SYNOPSIS OF PROFESSIONAL STAFF COMMENTS FOR PLANNING COMMISSION & CITY COUNCIL

Lots 1-3 and Outlot A – Springfield Gateway Park Alvin & Nancy Glesmann Trust (Owner)/Scannell Properties LLC (Subdivider)/TD2 (Agent) Request for Zone Change Application & Preliminary Plat Application

Thompson Dreesen & Dorner (“TD2”) (“Agent”) submitted the following documents on March 9, 2026, on behalf of Scannell Properties LLC (“Subdivider”) related to the property legally described as a tract of land beginning at the W1/2 NW1/4 Exc Row of Section 12, Township 13 N, Range 11 East of the 6th P.M., Sarpy County, Nebraska, owned by the Alvin & Nancy Glesmann Trust (“Owner”):

1. Request for Zone Change Application
2. Preliminary Plat Application

The following exhibits were also provided:

1. Glesmann Owner Authorization Letter
2. Preliminary Plat & Exhibits
 - a. Paving Plan
 - b. General Obligation Paving Plan
 - c. Sanitary Sewer Plan
 - d. Sanitary Sewer Calculations
 - e. Sediment and Erosion Control Plan
 - f. Storm Sewer Plan
 - g. Post Construction Stormwater Management Plan
 - h. Water Main
 - i. Street Profiles
3. Preliminary Drainage Study
4. Source and Use of Funds

Owner/Subdivider/Agent request the following in order to subdivide the land into a business park development:

1. Change of the zoning classification from AR (Agricultural Residential) to BP (Business Park)
2. Preliminary Plat of Lots 1-3 and Outlot A, Springfield Gateway Park

The documents were forwarded to the Planning Review Team, which is comprised of Bill Seidler, Jr. (city attorney), Jeff Ray (city planner), Jeff Thompson (engineer for Sarpy County & Cities Wastewater Agency (SCCWWA)), Brian Schuele (city engineer with Olsson), MUD, NDOT, OPPD Land Management, Papio Missouri River Natural Resources District, Sarpy County (Admin/Engineering/Public Works), Sarpy County Emergency Management Agency, Sarpy County GIS, Sarpy County Planning, Sarpy County Sheriff, Chad

Zimmerman (Springfield Fire Chief), and Ryan Saunders (Springfield Platteview Community Schools). Below is a synopsis of their comments.

Bill Seidler, Jr., City Attorney

1. Description

- a. This is a Preliminary Plat Application and Rezoning Application by Scannell Properties, LLC for land owned by the Alvin Glesmann and Nancy Glesmann Trust at 14305 Capehart Road, Springfield, 68509.
- b. The proposal is for a two-phase subdivision. Phase 1 with one lot of 22.47 acres and 5.14 acres Outlot A. Phase 2 has two lots. Lot 2 is 21.56 acres. Lot 3 is 21.77 acres.
- c. The subdivision would be called Springfield Gateway Park.
- d. The rezone request is from AR Agriculture Residential to BP Business Park Lots 1-3 and Outlot A.
- e. The land is north/east of the current corporate limits of Springfield. It is not within the current city corporate limits but is within its extra territorial zoning jurisdiction.

2. Documents Reviewed

- a. Letter dated March 6, 2026, signed by Linda Dorothy, Successor Trustee to Scannell Properties, LLC;
- b. Springfield Gateway Park Preliminary Drainage Study dated 3.09.2026;
- c. Springfield Gateway Park Preliminary Plat;
- d. Springfield Gateway Park Preliminary Plat Application dated 3.09.2026;
- e. Springfield Gateway Park Request for Zone Change dated 3.09.2026;
- f. Springfield Gateway Park SUF dated 3.09.2026; and
- g. Springfield Gateway Park Transmittal dated 3.09.2026.

3. Application

- a. It is not disclosed under what state Scannell Properties is an LLC, but if it is a foreign limited liability company, it will have to apply for a Nebraska Certificate of Authority. See Neb. Rev. Stat. §21-156.

4. S.I.D. Valuation

- a. The sources and uses of funds projects a completed valuation of \$85,500.00.00.
 - i. Phase 1 of project= a valuation of \$28,500,000.00.
 - ii. Phase 2 of project= a valuation of \$57,000.000.00.
 - iii. Total= \$85,500,000.00
- b. S.I.D. versus other methods of public improvement methods.
- c. This appears to be an application for zoning that will allow a use of the type described in Springfield Zoning Code, under Business Park.
- d. Under Springfield Subdivision Regulations, Section 3.03 B. l.n, a preliminary plat must contain an itemized cost estimate for all public improvements and detailed breakdown of portion of estimated costs to be borne by the subdivider, and those borne by the city, S.I.D., or other proposed issuer of public debt.
- e. It appears that the S.I.D. property tax levy would be higher than the city levy.
- f. S.I.D.s are a government unto themselves.
- g. The city should consider alternatives to S.I.D. construction.
- h. S.I.D.s are not part of the corporate limits of the city, and the city derives no property tax revenue from them. They do, however, have the potential for demands from S.I.D. operators, who do not understand the distinction between the city and the S.I.D.
- i. S.I.D.s are governed by an S.I.D. Board of Directors, elected by the lot owners.
- j. While the construction costs can be projected, the final development valuation and timing are speculative. The final development valuation and timing will affect the ability of the S.I.D. to pay its debt. This could, in turn, affect the possibility of the city annexing this S.I.D.



5. Development Risks to Springfield

- a. A risk is that promoters of the development may not be able to build and sell the lots or improvements to reach the projected values.
- b. If the Subdivider cannot sell all of the lots at the projected price, and collect the special assessments, or if the value of the improvements is less than the projected value, it may mean that the S.I.D. would have to address its debt. It would also mean that the projected debt could not be retired according to the projected schedule.
- c. It is unknown if the current business market conditions in Springfield, or the surrounding area, would economically justify the construction of the imagined improvement at the hoped-for valuation.

6. Annexation Risk

- a. If it is the policy of the City of Springfield not to annex S.I.D.s until the S.I.D. reduces its debt to a level that can be serviced at the then current levy of the city, it may mean that annexation of the area may never occur.
- b. The tax levy of the S.I.D. should be compared to the property tax levy of the City of Springfield. It is unknown what the district tax levy would have to be to service its construction, debt, and operation cost.
- c. If the S.I.D. cannot generate sufficient revenue to maintain its infrastructure, it may allow its infrastructure to deteriorate, which would create a problem for the city, with deteriorated streets, sewers, and outlots in an area within city limits.
- d. If, in the future, the city cannot, or will not, annex this S.I.D., because of debt levels, or infrastructure considerations, the city would not be able to annex areas of this S.I.D that were contiguous with this S.I.D. but not the corporate limits of the city.

7. Papillion Issues

- a. Springfield has an interlocal agreement with Papillion regarding extraterritorial zoning jurisdiction. If there is additional development to the north of the current Springfield corporate limits, and Springfield annexes the subdivision, it would potentially alter Springfield's one-mile extraterritorial zoning jurisdiction boundary.
- b. Alternatively, if the area between Springfield and Papillion becomes increasingly urbanized, Papillion may wish to extend its boundaries.
 - i. These matters should be studied in light of the city's relationship with Papillion.
- c. Papillion is a City of the First Class and Springfield is a City of the Second Class.
- d. Springfield should consider the zoning and annexation issues that could arise because of increased suburban development in the area between Papillion and Springfield.

8. Sewer Agency Issue

- a. It is unknown if the sewer agency has a sewer line in this area. If there is any pioneering required, that would require coordination with the Agency.

9. Outlot A

- a. Outlot A in Phase 1 appears to be a drainage basin. Projected ownership and maintenance of Outlot A should be disclosed and discussed between the Subdivider and the city.

10. Business Park District

- a. Springfield Zoning Code at 5.01, section 5.18 (BP) contains the permitted uses and conditional permitted uses for the zone.
- b. The description of Business Park on page 73 of the Springfield Comprehensive Plan and the permitted uses in section 5.18 of the Springfield Zoning Code are different.
 - i. City to discuss the differences and contemplated use with the Subdivider.



Jeff Ray, City Planner

1. The proposed preliminary plat and zone change to BP, Business Park, are in conformance with the Comprehensive Plan and Zoning Ordinance.

Jeff Thompson, SCCWWA Engineer

SCCWWA staff review is based on the SCCWWA policy and procedures currently in effect at the time of this review.

1. City to provide, at the time of the final plat submittal, the sewer connection agreement between the City of Springfield and the development area.
 - a. Based on the current Agency Master Plan and the natural topography of the property, the entire parcel lies within the Phase 1A service area and can be serviced through localized outfall sewers that may, through the current agreement for connection and wastewater service between the City of Springfield and the Agency, be allowed to connect.
2. Recommend a boundary adjustment application be submitted to the Agency board for consideration to amend and adjust the growth boundary zone to include the entire parcel within the Urban Development Zone ("UDZ").
 - a. SCCWWA recommends the boundary adjustment application include the entire subbasin that can be serviced by the localized outfall within this request to prevent further Agency action in the future should additional development wish to connect.
 - i. Based on the current Growth Management Plan, the entire parcel lies within the Urban Reserve Zone ("URZ").
3. Actual flow quantities within the entire service area will need to be monitored and evaluated routinely to ensure system surcharging and/or limiting capacities do not occur.
 - a. Land uses from this development area were assumed "low density residential" based on the future land use plans provided by the City of Springfield at the time of the Agency's initial system design. The estimated flow rate for that land use was approximately 45,653 GPD on average.
<https://scacwa.maps.arcgis.com/apps/instant/basic/index.html?appid=6307929e69234ac58f8eb18b6e533fda>.
 - b. Based on the current proposed layout and calculations provided, the estimated average daily development flow from the proposed development boundary is 120,643 GPD.
 - i. This is nearly three (3) times in excess of the original design flow which means this development could in theory deplete approximately 75,000 GPD more capacity than originally designed for however, based on actually pipe slopes completed at the time of construction, the capacity of the system exceeded design by nearly 15% at the most restrictive point downstream.
 - c. The "timing" of development not happening across the entire service area all at once helps alleviate most concern; however, as more development builds out throughout the service area as a whole, additional pumps may need to be added at the lift station sites downstream.
 - d. It is also noteworthy that the contributing area within the calculation provided may be slightly inflated due to the boundary inclusion of Hwy 50 right-of-way within service Area B (75.6 Ac)
4. Subdivider to provide, at the time of the final plat submittal, an Excel spreadsheet with the final lot count and acreage for final connection fees due, as well as an AutoCAD file of the final plat layout.
 - a. Based on the current preliminary plat, the estimated Agency connection fees due at the time of the final plat will be \$1,972,647.36 (see **attached Springfield Gateway Park Sr. Conn Fee Calcs_3-11-26.pdf**).



- i. Should item 3 above be pursued and the development area is moved within the UDZ, only half (½) of the connection fees would be due at the time of the platting equaling \$986,323.68 with the second half becoming due at the time of building permits for each lot being built upon.
 - ii. These fees are based on the 2025-2026 fiscal year rates which expire June 30, 2026. Should the final plat not be approved by then or a phased development approach is desired, future fiscal years rates shall apply.
 - b. The City of Springfield may have their own connection fee charge for the development on top of the Agency charges which is perfectly understandable to assist in the construction of the localized outfall sewer servicing a larger area of development.
5. SCCWWA will review the layout of future final plat submittals for any changes to the development ratio.
 - a. The Regional Wastewater System Financial Assessment TM_2015 3-11-16(final) Waatach and Platte River Regional Wastewater System Refinement Technical Memorandum and the Regional Wastewater Treatment Alternatives Technical Memorandum estimated 65% of the total acres of any residential to be developable with 5 EDUs per acre.
 - b. Based on the current preliminary plat information, this development equates to a ratio of 91% which is larger than those preliminary engineering estimates. This is subject to change, however, based on any changes to the proposed development submittal.
6. Recommend further due diligence within the development area after testing to confirm and ensure inflow and infiltration (“I & I”) is not encountered.
 - a. Recent developments within the Agency jurisdiction have found newly constructed developments are experiencing I & I issues even after initial system testing.
 - b. An inflatable plug at the tie in structures prior to any initial home construction may be prudent for identifying this type of issue.

Brian Schuele, City Engineer w/ Olsson

1. Capehart Road
 - a. Agree with Sarpy County Admin’s comments below.
 - b. Subdivider is showing completion of the third lane of pavement and a sidewalk on the south side of Capehart, which meets the requirements.
 - i. It is presumed that this this would satisfy Papillion as well.
2. Capehart Quarter Mile Access
 - a. For residential or commercial developments, typically ***an access at the quarter mile point of an arterial road is required***, which is the east boundary of the property.
 - i. This road would run along the eastern edge of the property.
 - ii. Once past 14009 Capehart Road, it could potentially shift east to be centered on the shared property line since the adjacent property would have the same requirement of a quarter mile access.
3. Highway 50
 - a. Agent to coordinate access with NDOT.
 - b. NDOT may require a traffic study and the addition of a deceleration lane, etc.
4. Gateway Drive
 - a. Gateway drive would be classified as a collector road, requiring an 80’ ROW, 36’ pavement width, 300’ min. centerline radius, and 8” concrete.
 - b. Recommend a 10’ sidewalk/trail section on one side in order to provide connectivity to trail along Hwy 50.
 - i. A 5’ sidewalk will be required on the other side.



5. Wetlands
 - a. Agent to provide a wetland delineation and show impacts.
6. Sanitary Sewer
 - a. Agent to obtain easements from landowner to the south to construct the sanitary outfall.
 - b. Reimbursement to be made by future developers connecting to the outfall sewer on a per acreage basis.
7. Drainage Report/Storm Sewer
 - a. Site appears to meet the drainage requirements.
 - b. Drainage report will be reviewed in detail during the final plat review process.

MUD

1. Metropolitan Utilities District (“MUD”) is the supplier of natural gas and water to Springfield Gateway Park subdivision.
 - a. MUD has an existing 16” water main in Capehart Road, as well as an existing 24” water main in S. 144th Street (HWY 50).
 - b. Subdivider to add a gas main extension along S. 144th Street (Hwy 50) from Platteview Road to the north.
 - c. Easements may or may not be needed, depending on the design.

NDOT

No comments received.

OPPD

1. High voltage (69kv & 161kv) transmission line on west side of property with restrictions outlined within final ROW Easement (plat specifies proposed).
2. Subdivider/Agent to contact OPPD Utility Coordinator regarding electrical needs such as:
 - a. Existing facilities within and surrounding property to be removed and/or relocated for future improvements.
 - b. Timeline to install electrical backbone for future subdivision/lots. Recommended to obtain building permit AFTER backbone is installed.
 - c. Additional easements on subject property outside plat dedication may be required for electrical facilities to power future improvements.
3. Agent to include standard OPPD dedication language on final plat to install electrical backbone to feed future improvements:
 - a. Dedication

Know all men by these presents that we, , owners of the property described in the Certification of Survey and embraced within the plat, have caused said land to be subdivided into lots and streets to be numbered and named as shown, said subdivision to be hereafter known as (lots numbered as shown), and we do hereby ratify and approve of the disposition of our property as shown on the plat, and we do hereby dedicate to the public for public use the streets, avenues and circles, and we do hereby grant easements as shown on this plat, we do further grant a perpetual easement to the Omaha Public Power District, Qwest Communications and any company which has been granted a franchise to provide a cable television system in the area to be subdivided, their successors and assigns, to erect, operate, maintain, repair and renew poles, wires, cables, conduits and other related facilities, and to extend thereon wires or cables for the carrying and transmission of electric current for light, heat and power and for the transmission of signals and sounds of all kinds including signals provided by a cable television system, and the reception on, over, through, under and across a five-foot (5') wide strip of land abutting all front and side boundary lot lines; an eight-foot (8') wide strip of land abutting the rear boundary lines of all



interior lots; and a sixteen-foot (16') wide strip of land abutting the rear boundary lines of all exterior lots. The term exterior lots is herein defined as those lots forming the outer perimeter of the above-described addition. Said sixteen-foot (16') wide easement will be reduced to an eight-foot (8') wide strip when the adjacent land is surveyed, platted and recorded. No permanent buildings or retaining walls shall be placed in the said easement ways, but the same may be used for gardens, shrubs, landscaping and other purposes that do not then or later interfere with the aforesaid uses or rights herein granted.

Papio Missouri River Natural Resources District

1. Access to this site from the east side of Highway 50 will impact the MoPac Trail that is operated and maintained by the Papio NRD.
 - a. Areas distributed by construction shall be replaced with concrete trail surface.
 - b. Appropriate signage, paint, and access control features shall be included at location where streets or driveways cross the trail.
 - c. Plans shall be submitted to the Papio NRD for review with Eric Williams (EWilliams@PapioNRD.org) as the primary contact.

Sarpy County Admin/Engineer/Public Works

Admin

1. Subdivider is responsible for reimbursing the County for the cost of the 650' of the third lane of Capehart Road adjacent to their property, inclusive of ROW acquisition, in the amount of \$192,349.
 - a. The County led the improvement of Capehart Road from Highway 50 to the east property line of Meta's development, which consisted of approx. 650' of 3-lane road then tapered to 2-lanes.
 - b. Meta has reimbursed the County for one lane of pavement adjacent to their property.
2. City to work with subdivider on any additional improvements needed on Capehart Road.
 - a. Capehart Road from Highway 50 to Meta's east property line is now in Papillion city limits.

Engineer

1. Preliminary Plat
 - a. The cul-de-sac between Lots 1 and 2 exceeds the length limit.
 - b. Agent to submit roadway plans to Sarpy County Public Works for review.
2. Streets Profile exhibit
 - a. The PVI Elevation and K on the Street ROW W-E STA: 12.00 to STA: 19.00 does not meet minimum.
 - b. Agent to indicate design/posted speed.

See attached Springfield Gateway Park Prelim Plat & Street Profiles COM 3-19.pdf.

Sarpy County Emergency Management Agency

1. A small portion of this property lacks sufficient outdoor warning siren coverage.
 - a. A new outdoor warning siren is needed in this area.
 - i. It is recommended that the City of Springfield collaborate with the subdivider, the City of Papillion, and the Sarpy County Emergency Management Agency to identify a funding source and suitable location for a new outdoor warning siren in this area.

Sarpy County GIS

1. Gateway Drive cannot be used as a street name in this development.
 - a. Suggestions provided by the city.
2. Streets provided (***see attached Springfield Gateway Park Streets 3-23-26.pdf.***)



Sarpy County Planning

No comments received.

Sarpy County Sheriff

No comments.

Springfield Fire Chief

No comments.

Ryan Saunders (Springfield Platteview Community Schools)

No comments received.

Attachments:

- Springfield Gateway Park Sr. Conn Fee Calcs_3-11-26.pdf
- Springfield Gateway Park Prelim Plat & Street Profiles COM 3-19.pdf
- Springfield Gateway Park Streets 3-23-26.pdf



3/11/2026

Agency Rates per Ac	\$	25-26 29,984.00	\$	26-27 31,484.00	\$	27-28 32,059.00
---------------------	----	--------------------	----	--------------------	----	--------------------

Gross Plat Size 72.27

		25-26	26-27	27-28
Lot No.	Size (Ac)	Conn Fee	Conn Fee	Conn Fee
1	22.47	\$ 673,740.48	\$ 707,445.48	\$ 720,365.73
2	21.55	\$ 646,155.20	\$ 678,480.20	\$ 690,871.45
3	21.77	\$ 652,751.68	\$ 685,406.68	\$ 697,924.43
Total	65.79	\$ 1,972,647.36	\$ 2,071,332.36	\$ 2,109,161.61

Outlot A Size (Ac) 5.14

ROW 1.34

Total Buildable

% Builable 91% > 65% TRUE

Variable	Unit	Value
Overall Sarpy County Residential Population Growth	People/year	• 3,625
• 2015-2045		• 2,845
• 2046-2055		
Percentage of Projected Incremental Growth Occurring South of Ridgeline:	Percent	• 10
• Year 2020		• 25
• Year 2025		• 75
• Year 2035		• 90
• Year 2050		
Single Family Residential	People/DU	2.7
Dwelling Units (DU) per Gross Acre	DU/acre	3
People per Gross Acre	People/acre	8.1
Developable Acre to Gross Acre Ratio (Residential)	Percent	60
Commercial Growth	SF/10 years	500,000
Commercial Building Area per Developable Acre	SF/acre	13,700
Area per Commercial Employee	SF/employee	196
Commercial Employees per Developable Acre	Employees/acre	70
Industrial Growth	SF/10 years	3,000,000
Industrial Building Area per Developable Acre	SF/acre	12,000
Area per Industrial Employee	SF/employee	600
Industrial Employees per Developable Acre	Employees/acre	20
Developable Acre to Gross Acre Ratio (Commercial/Industrial)	Percent	65
Residential Wastewater Flow	gpcd	100
Commercial Wastewater Flow	gpad	1,500
Industrial Wastewater Flow	gpad	1,500

April 14, 2026

City of Springfield
Ms. Kathleen Gottsch, City Administrator/Treasurer
P.O. Box 189
170 North 3rd Street
Springfield, NE 68059

RE: Springfield Gateway Park
Professional Staff Comments Response
TD2 File No. 2439-101.1

Ms. Gottsch:

The following responses have been prepared in acknowledgement of the email from April 9, 2026, regarding City of Springfield Professional Staff comments for the Preliminary Plat and Change of Zone submittal of Springfield Gateway Park. Responses are provided for specific staff comments that needed further discussion:

Bill Seidler, Jr., City Attorney

4. SID Valuation

RESPONSE: Noted that the debt ratio shown on the Source and Use of Funds is too high. Project costs and expected valuations are being reworked to lower this ratio to an acceptable value.

Brian Schuele, City Engineer w/ Olsson

2. Capehart Quarter Mile Access

RESPONSE: Noted. Need further discussion with city staff.

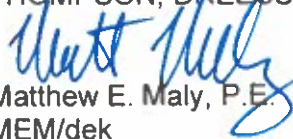
4. Gateway Drive would be classified as a collector road including a 10' wide trail on one side.

RESPONSE: Based on the City's Future Streets Plan, there is no Collector street planned at the location of Gateway Drive. Also, per the City's Future Trails Map, there is no trail planned for this project site.

If you have any questions, please call our office at (402) 330-8860.

Sincerely,

THOMPSON, DREESSEN & DORNER, INC.


Matthew E. Maly, P.E.
MEM/dek



REQUEST FOR ZONE CHANGE

(please print or type)

Applicant's Name Scannell Properties LLC

Address 1600 Genessee St., Suite 232 Kansas City, MO 64102

Phone (913) 909-6503 - _____ ext. _____

Owner's Name Alvin & Nancy Glesmann

Address 5108 N 192nd Ave. Cir. Omaha, NE 68022

Phone () _____ - _____ ext. _____

Agent's Name Thompson Dreessen & Dornier

Address 10836 Old Mill Road, Omaha, Nebraska 68154

Phone (402) 330-8860 - _____ ext. _____

Hereby request the Planning Commission and City Council to consider a change of zoning classification. The current zoning designation of the property is as follows:

AR Agricultural Residential District

The desired zoning designation of the property is as follows:

BP Business Park

Please note: Minimum size requirements are necessary in some Zoning Districts. Please contact city staff for information regarding these minimum requirements.

The zone change is requested for the property legally described as the following:

Lots 1-3 and Outlot A, Springfield Gateway Park, being a platting of the W 1/2 of the NW quarter of section 12, T13N, R11E of the 6th P.M., Sarpy County, Nebraska.


The existing use of the property is as follows:

The existing use of the property is farmland with row crops.

The applicant is requesting a zone change for the following purpose:
Platting the land for development of lots fitting the permitted uses within the Highway Business zoning.

- ✓ ***Please refer to the Zone Change Checklist for a complete list of required information.***
- ✓ ***Complete information must be provided by the applicant or no action will be taken.***
- ✓ ***Please refer to the Review Schedule for submittal deadlines and public hearing dates.***

I hereby certify that all required information and materials are herewith attached and said materials are true and accurate to the best of my knowledge.

Signed  (CAM DUFF)
Applicant

Date MARCH 9TH, 2026

Application Fee: \$400.00

**\$200.00 of the fee is refundable only if City Council denies request*

All fees are due and payable to the City Treasurer upon application.

Zone Change Recommendation / Action

Planning Commission

- Approval recommended
- Approval not recommended
- Changes and improvements required:

- ___ Ayes
- ___ Nays
- ___ Abstain

Date of Public Hearing _____, 20____
Date of Notice of Public Hearing _____, 20____

Signed _____
Chairman, Planning Commission

City Council

- Application approved
- Application denied
- Application referred back to Planning Commission with specific instructions:

- ___ Ayes
- ___ Nays
- ___ Abstain

Date of Public Hearing _____, 20____
Date of Notice of Public Hearing _____, 20____

Signed _____
Mayor

Attest _____
City Clerk



PRELIMINARY PLAT APPLICATION

(please print or type)

Subdivider's Name Scannell Properties LLC
Address 1600 Genessee St., Suite 232 Kansas City, MO 64102
Phone (913) 909-6503

Owner's Name Alvin & Nancy Glesmann
Address 5108 N 192nd Ave Cir Omaha, NE 68022
Phone _____

Agent's Name Thompson Dreessen & Dornier
Address 10836 Old Mill Road, Omaha, Nebraska 68154
Phone (402) 330-8860

The Preliminary Plat is requested for the property legally described as follows:
Lots 1-3 and Outlot A, Springfield Gateway Park, being a platting of the W ½ of the NW quarter
of Section 12, T13N, R11E of the 6th P.M., Sarpy County, Nebraska.

The current zoning of the property is as follows:
AR Agricultural Residential District

Name of the Preliminary Plat:
Springfield Gateway Park

Number of lots in the Preliminary Plat:
3 BP (Business Park) Lots, 1 BP (Business Park) Outlot

Does the subdivider have any interest in the land surrounding the preliminary plat?
 yes
 no

If yes, please describe the nature of such interest:

Will the preliminary plat require any zoning or other action (rezone, planned development, conditional use, vacations) to complete the development?

- yes
- no

If yes, please describe the nature of the action:

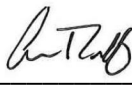
Change of zoning will be required. Change of zoning application is provided with plat submittal.

Does the preliminary plat meet all the criteria required in the Subdivision Regulations and as found on the Preliminary Plat Checklist?

- yes
- no

- ✓ ***Please refer to the Preliminary Plat Checklist for a complete list of required information.***
- ✓ ***Complete information must be provided by the applicant or no action will be taken.***
- ✓ ***Please refer to the Review Schedule for submittal deadlines and public hearing dates.***

I hereby certify that all required information and materials are herewith attached and said materials are true and accurate to the best of my knowledge.

Signed  (CAM DUFF)
Applicant

Date MARCH 9TH, 2026

Application Fee: \$750.00 plus \$10.00 per lot

Revised Preliminary Plat Fee: \$250.00

*fees are nonrefundable

All fees are due and payable to the City Treasurer upon application.

Preliminary Plat Recommendation / Action

Planning Commission

- Approval recommended
- Approval not recommended
- Changes and improvements required:

- ___ Ayes
- ___ Nays
- ___ Abstain

Date of Public Hearing _____, 20____

Date of Notice of Public Hearing _____, 20____

Signed _____
Chairman, Planning Commission

City Council

- Application approved
- Application denied
- Application referred back to Planning Commission with specific instructions:

- ___ Ayes
- ___ Nays
- ___ Abstain

Date of Public Hearing _____, 20____

Date of Notice of Public Hearing _____, 20____

Signed _____
Mayor

Attest _____
City Clerk

March 6, 2026

VIA EMAIL

Linda Dorothy
Linda Dorothy, Successor Trustee of the Alvin Glesmann Trust & Nancy Glesmann Trust

RE: 14305 Capehart Road Springfield, NE Preliminary Plat Owner Authorization Letter

Dear Ms. Linda Dorothy

Linda Dorothy, Successor Trustee of the Alvin Glesmann Trust & Nancy Glesmann Trust (herein, "Owner") hereby authorizes Scannell Properties, LLC, an Indiana Limited Liability Company (the "Applicant") and the Applicant's engineering firm, Thompson, Dreessen and Dorner, to apply for and obtain any zoning, platting, subdivision approvals, and or other approvals necessary to allow for zoning approvals described on Exhibit A attached hereto by the Applicant within the property owned by the Owner. Applicant shall bear the cost of obtaining all such approvals. Owner agrees to cooperate with and to assist the Applicant in obtaining approval for any such subdivision, rezoning, variances, permits and approvals, including signing all documents to the extent necessary for obtaining the same; provided Owner shall not be required to incur any costs or expenses in connection with the same.

BUYER: Scannell Properties, LLC



By: Cameron Duff

Its: Director of Development

Agreed to and accepted this 6th day of March 2026.

SELLER: Linda Dorothy, Successor Trustee of the Alvin Glesmann Trust & Nancy Glesmann Trust

By: Linda Dorothy

Its: Linda Dorothy

March 6th, 2026

Linda Dorothy
Linda Dorothy, Successor Trustee of the Alvin Glesmann Trust & Nancy Glesmann Trust
Page 2

EXHIBIT "A"

SPRING

PROJECT LOCATION

- 1. ERS
- 2. WAT
- 3. SW
- 4. SW
- 5. SW
- 6. SW
- 7. SW
- 8. SW
- 9. SW

Curve Table Alignments			
CURVE#	RADIUS	LENGTH	DELTA
C1	200.00'	248.91'	77° 02' 28"
C2	200.00'	247.83'	77° 01' 47"

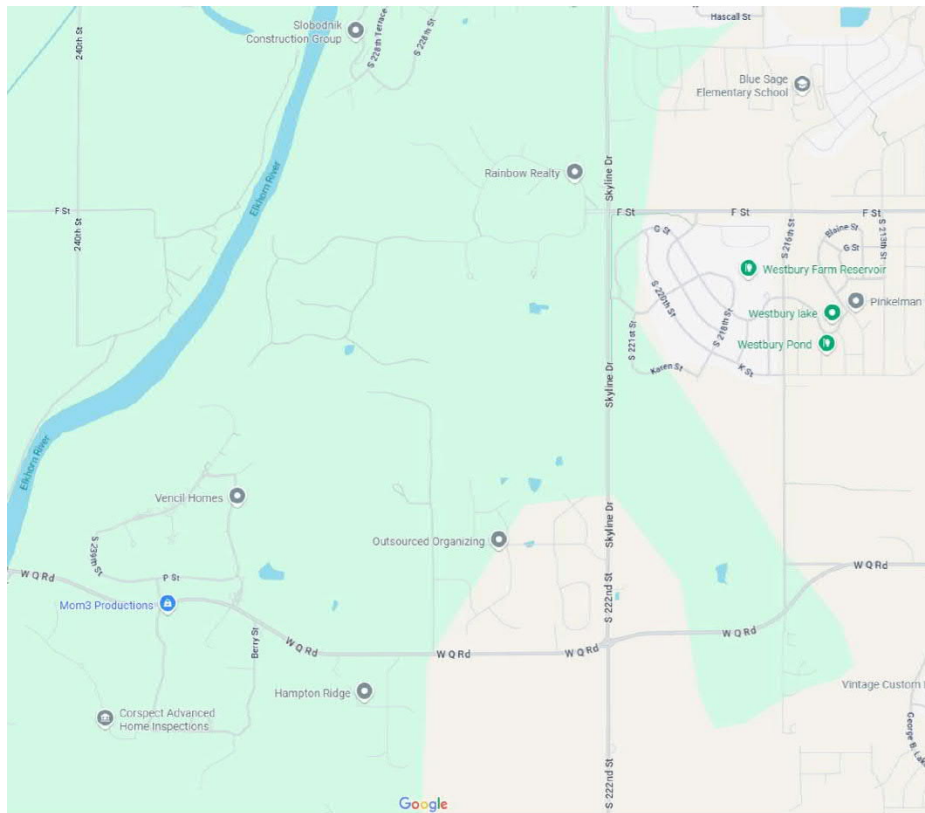


Preliminary Draft

Springfield Gateway Park
Lots 1 - 3 and Outlot A
Highway 50 and Capehart Road
Sarpy County, NE

DRAINAGE STUDY & PCSMP CALCULATIONS

PCSMP No.



Project Engineer

Matthew E. Maly, P.E.

TD2 File No. 2439-101

DRAINAGE STUDY & PCSMP CALCULATIONS

Springfield Gateway Park
Highway 50 and Capehart Road
Sarpy County, Nebraska

TABLE OF CONTENTS

EXECUTIVE SUMMARY 4 PAGES

SECTION 1

- WEB SOIL SURVEY REPORT 4 PAGES
- STORM SEWER CALCULATIONS 1 PAGE
- BOX CULVERT HY-8 REPORT 8 PAGES
- CULVERT HYDROGRAPH REPORT 13 PAGES
- PCSMP HYDROGRAPH REPORT..... 32 PAGES
- DETENTION BASIN 1 SECTION 1 PAGES
- DETENTION BASIN 1 ELEVATION VS TIME GRAPH1 PAGES
- BOX CULVERT RIPRAP BASIN CALCULATIONS 2 PAGES

SECTION 2

- EXISTING DRAINAGE MAP..... 1 PAGE
- PCSMP DRAINAGE MAP..... 1 PAGE
- STORM SEWER DRAINAGE MAP 1 PAGES

PRELIMINARY DRAINAGE STUDY AND PCSMP CALCULATIONS
Springfield Gateway Park
Lots 1-3 and Outlot A
Sarpy County, Nebraska

EXECUTIVE SUMMARY

This drainage study was prepared for the Springfield Gateway Park subdivision located at the SE corner of Highway 50 and Capehart Road in Springfield, Sarpy County, Nebraska. This study will analyze the Post Construction Stormwater Management Plan (PCSMP) requirements for treatment and detention for the approximately 72 acres of the subdivision.

The existing conditions of the site consist of predominately agricultural land. There is also one residence at the NW corner of the site. The existing topography generally falls from east to west towards a drainage way along highway 50. EX1 overland flows west through minor drainageways to the main channel and to Impact Point 1 at the SW corner of the site. From there it continues downstream to Springfield Creek. EX2 is a small portion along the east edge of the property that overland flows off site to the east at Impact Point 2 eventually reaching Springfield Creek. EX 3 is a small portion at the NE corner which overland flows east off site at Impact Point 3 eventually reaching Springfield Creek. A small off-site area to the north is also conveyed under Capehart Road and through an existing drainageway through the site to Impact Point 1. Also, a large offsite area to the north and west of the site is conveyed under Highway 50 and follows the main channel to the south and exits the site at Impact Point 1.

The proposed conditions of the site will consist of 3 large commercial lots within a BH (Highway Business) zoned subdivision. Approximately 70 acres of the site will be graded during construction. Proposed grading will provide large flat building pad for the lots while maintaining the general runoff direction from east to west. The proposed site will consist of a central paved road, sanitary sewers, storm sewers, and other utilities. Runoff from the site will be captured by the developed lots and tap into public storm sewer. The storm sewer will convey runoff to the south and into Detention Basin 1 (DB1) at the south end of the site. DB1 will provide treatment and detention as necessary for the Post-Construction Stormwater requirements. The northern off site area which is conveyed under Capehart Road will be tapped and routed around the north and west edges of the lots and be discharge back into the main channel along Highway 50. The other large offsite area to the west/north will continue to be conveyed under Highway 50 at the same location and be conveyed through a new box culvert under Gateway Drive as it continues downstream to Impact Point 1.

The SCS and Rational Methods were used to analyze runoff from the development.

It is our intent to demonstrate that the stormwater system has been designed to adequately transport the stormwater from this site, that this site will adequately treat the first half inch of runoff, and that the site will meet pre- and post-construction runoff requirements.

I. Existing Conditions

The existing conditions can be seen on the Existing Drainage Map, found in Section 2 of this report. The existing site is predominately agricultural land with one residence in the NW corner. Surrounding areas are predominately agricultural fields and data centers.

The existing conditions for this site were analyzed below:

Existing Area 1 (EX1): This area consists of the main area of the site. The area is agricultural land and includes the residence to the NW. Runoff from this area overland flows to the west towards the main drainage channel along Highway 50 and then south to Impact Point 1 at the SW corner of the site.

- Total Drainage Area = 60.8 acres
- SCS Runoff Curve Number, CN = 77
- Time of Concentration = 33.1 minutes
- 2 Year Storm Runoff, $Q_2 = 52.75$ cfs
- 10 Year Storm Runoff, $Q_{10} = 117.69$ cfs
- 100 Year Storm Runoff, $Q_{100} = 211.93$ cfs

Existing Area 2 (EX2): This area consists of a small drainage area to the SE corner. Runoff from this area overland flows east and south off the site at Impact Point 2.

- Total Drainage Area = 8.1 acres
- SCS Runoff Curve Number, CN = 77
- Time of Concentration = 10 minutes
- 2 Year Storm Runoff, $Q_2 = 12.28$ cfs
- 10 Year Storm Runoff, $Q_{10} = 26.78$ cfs
- 100 Year Storm Runoff, $Q_{100} = 47.72$ cfs

Existing Area 3 (EX3): This area consists of a small drainage area to the NE corner. Runoff from this area overland flows east and north off the site at Impact Point 3.

- Total Drainage Area = 4 acres
- SCS Runoff Curve Number, CN = 77
- Time of Concentration = 5 minutes
- 2 Year Storm Runoff, $Q_2 = 7.29$ cfs
- 10 Year Storm Runoff, $Q_{10} = 15.45$ cfs
- 100 Year Storm Runoff, $Q_{100} = 27.27$ cfs

II. Proposed Conditions

The proposed site improvements for Springfield Gateway Park will consist of mass grading, sanitary sewer, storm sewer, street paving, utilities, and a detention basin for Post-Construction Stormwater Management. The proposed drainage areas can be seen on the Proposed Conditions map in Section 2 of this report.

The proposed conditions for this site were analyzed below:

Proposed Area 1 (A1): This area consists of the main portion of the site. It will contain the developed lots. Runoff from this area will be captured by the developed sites and be conveyed to the public storm sewer. The sewer will discharge runoff into Detention Basin 1 at the south end of the site where it will be treated and detained prior to being released downstream at Impact Point 1

- Total Drainage Area = 66.24 acres
- SCS Runoff Curve Number, CN = 91
- Time of Concentration = 19.9 minutes
- 2 Year Storm Runoff, $Q_2 = 157.49$ cfs
- 10 Year Storm Runoff, $Q_{10} = 267.12$ cfs
- 100 Year Storm Runoff, $Q_{100} = 409.51$ cfs

Proposed Area 2 (A2): This area consists of a small portion along the west edge of the site. It contains the main drainageway along Highway 50 and sloped areas that cannot be captured and conveyed to DB1. Runoff will be conveyed through the drainageway south to Impact Point 1.

- Total Drainage Area = 6.6 acres
- SCS Runoff Curve Number, CN = 79
- Time of Concentration = 5.0 minutes
- 2 Year Storm Runoff, $Q_2 = 13.34$ cfs
- 10 Year Storm Runoff, $Q_{10} = 27.30$ cfs
- 100 Year Storm Runoff, $Q_{100} = 47.04$ cfs

III. Culvert Summary

One proposed box culvert will be required to convey water under Gateway Drive. This culvert has been analyzed to pass the 50-year storm within the culvert with a minimum of 2' freeboard. Larger storm events may overtop the roadways and be conveyed downstream. A summary of this culvert is in Table 1 below and design reports with cross sections can be found in Section 1 of this report.

Table 1 - Internal Culvert Summary

Area Name	Culvert Size (in)	50-Year Flow Rate (cfs)	Road Elevation	50-Year Headwater Elev.	Freeboard (ft)	Notes
C1	10' x 7' Box	660.62	1124.00	1121.00	3.00	

The culvert will concentrate runoff and create a point discharge that have the potential to cause an increase in erosion. An energy dissipator shall be designed and constructed in accordance with Chapter 7 of the Omaha Regional Stormwater Design Manual. In cases where manufactured systems, such as Flex-A-Mat, are utilized, manufacturers' guidelines shall be followed for design and construction. Dissipator calculations can be found in Section 1 of this report.

IV. Runoff Summary

Hydraflow Hydrographs Extension for AutoCAD Civil 3D was used to calculate the pre- and post-construction runoff rates for the 2-year, 10-year, and 100-year storm events for this site. Analysis was done for the entire site and can be seen in Table 2 below.

Table 2 – Runoff Summary

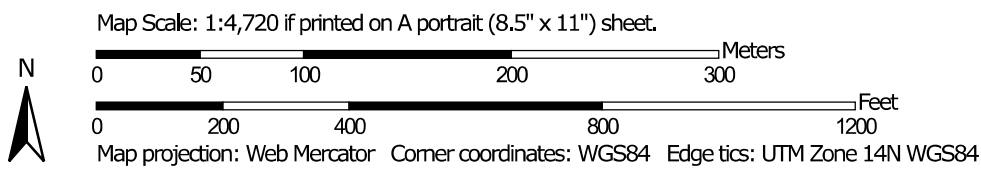
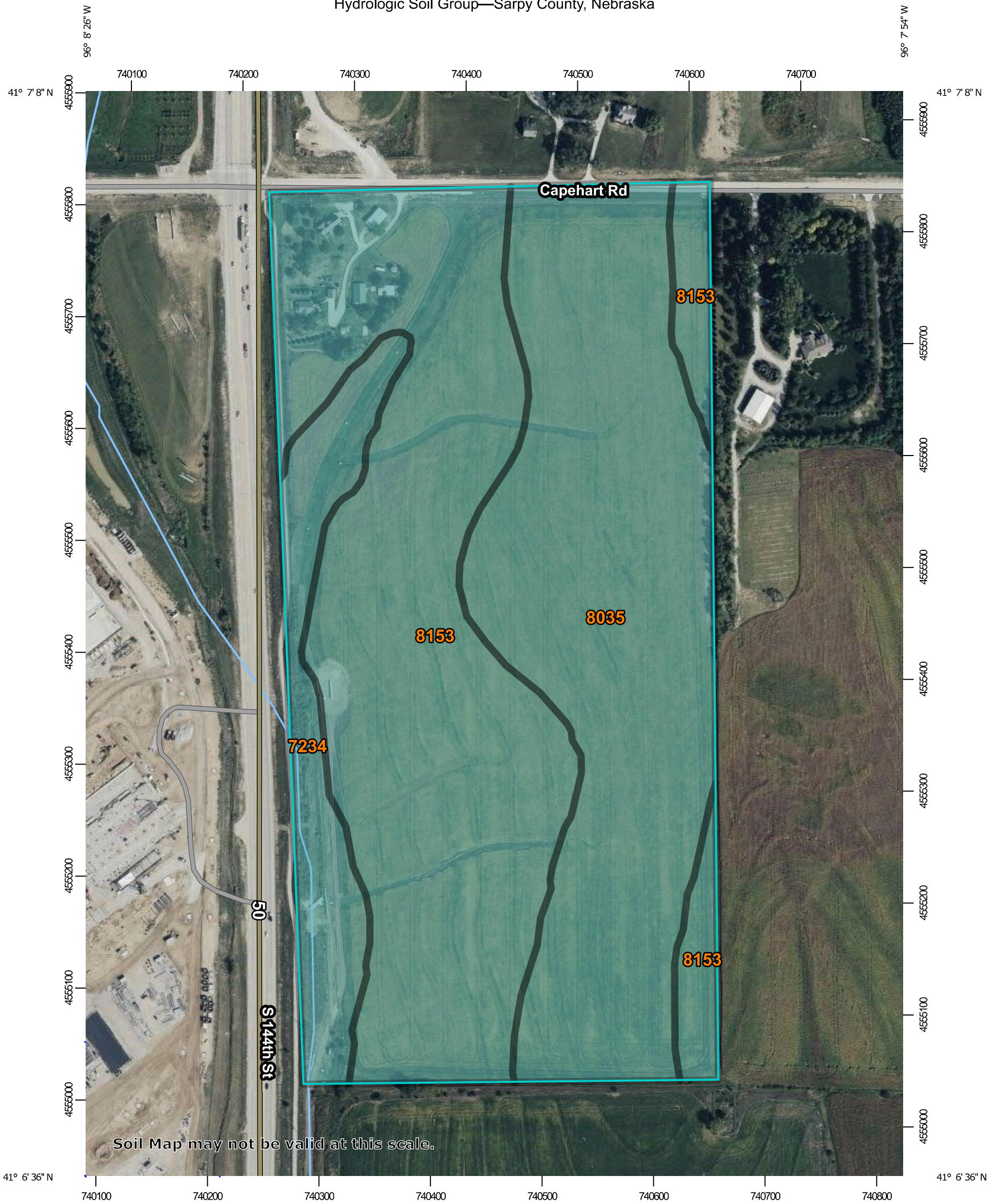
Impact Point	Pre-Construction Runoff (cfs)			Post-Construction Runoff (cfs)		
	2-Yr	10-Yr	100-Yr	2-Yr	10-Yr	100-Yr
1	52.75	117.69	211.93	24.37	96.09	179.76
2	12.78	26.78	47.72	0	0	0
3	7.29	15.45	27.27	0	0	0
TOTAL	72.82	159.92	286.92	24.37	96.09	179.76

Overall, the post-construction runoff will decrease for all storm events as compared to the pre-construction runoff.

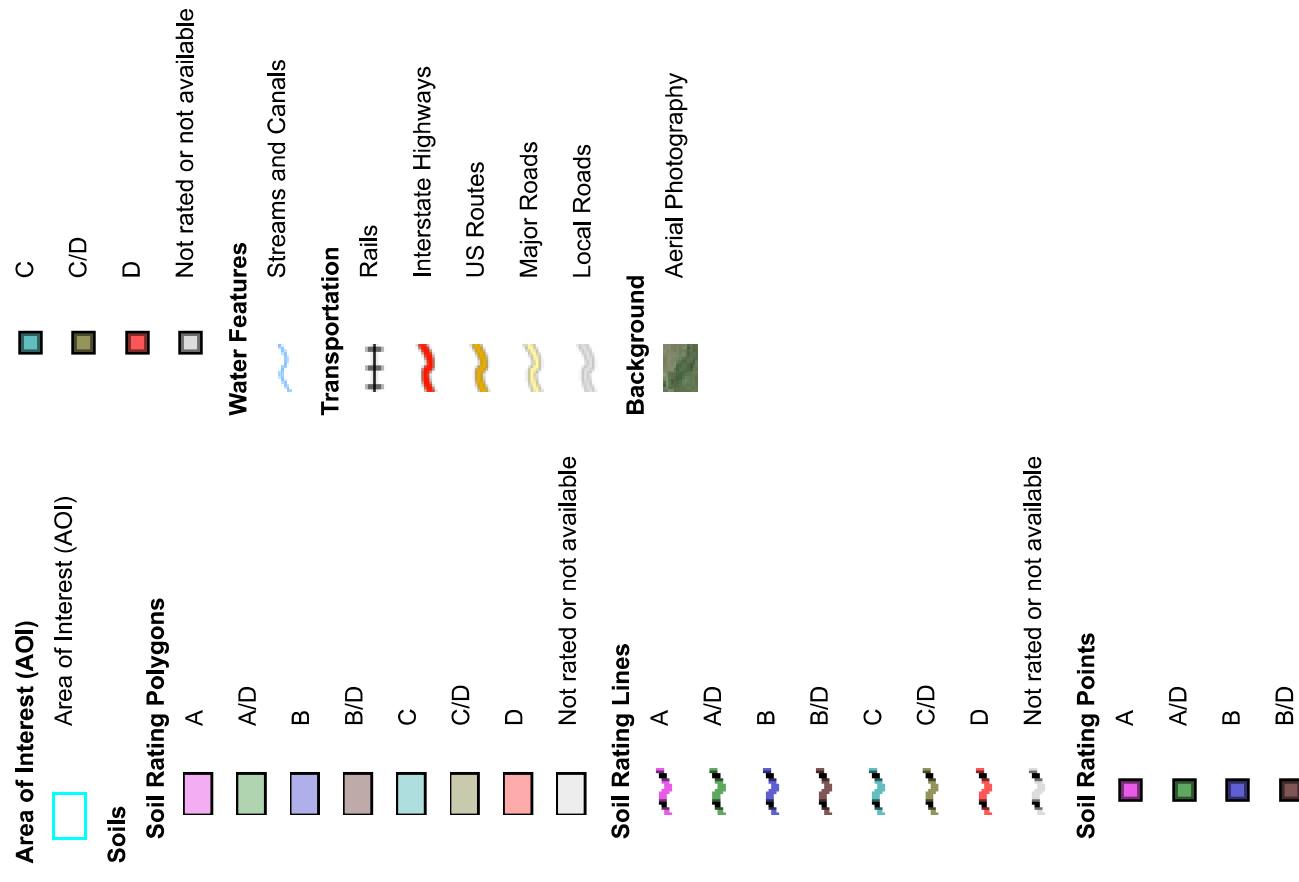
Required treatment volumes and detention times for the proposed PCSMP system can be found in the table below.

Area	Basin	Treatment Area (ac.)	Required Treatment Volume (First ½" +20%)(CF)	Provided Treatment Below Principal Spillway (CF)	Treatment Volume Elevation	Drawdown Time to Release Treatment Volume (hrs)
A1	DB1	66.24	144,270	295,246	1135.00	47.8

Hydrologic Soil Group—Sarpy County, Nebraska



MAP LEGEND



MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Sarpy County, Nebraska
 Survey Area Data: Version 19, Sep 8, 2025

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Data not available.

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
7234	Judson silty clay loam, 2 to 6 percent slopes	C	7.3	9.6%
8035	Marshall-Contrary silty clay loams, 2 to 7 percent slopes	C	31.1	40.9%
8153	Contrary-Marshall silty clay loams, 6 to 11 percent slopes	C	37.7	49.5%
Totals for Area of Interest			76.1	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

COMPUTATION FORM STORM DRAINAGE SYSTEM DESIGN BY THE RATIONAL METHOD		THOMPSON DREESSEN & DORNER Consulting Engineers & Land Surveyors Omaha, NE 68154 (402)330-8860										Calculated By: MEM Date: 7-18-22 Checked By: BPH				Preliminary Final Design x			Drainage Area Project No. 2338-103 Design Storm: 10 yr.							
Imp Pt. No.	Location		Conveyance		Direct Runoff								Travel Time (System Design)						Total Runoff					Remarks		
	From	To	W.S. or No.	O.F.L. ft.	W.C. Type *	S %	V fps	Ti min	i in/hr	A Ac.	C	Conv Sys			Slope		V des. fps	Cap. (all.) cfs	Lgth ft.	t min	TOC min	i	Comp C		Total A Ac.	Des. Q cfs
												q cfs	No.	Size	min %	des %										
1			B1					20	5	18.77	0.90	84.465		36	1.60	1.70	12.3	87.1898	400	0.54	20	5	0.90	18.77	84.47	
			B2					20	5	22.31	0.90	100.4		48	1.66	1.75	15.2	190.534	1000	1.1	20.5	5	0.90	41.08	184.9	
			B3							20.89	0.90	0		60	1.06	1.10	14	273.91			21.6	4.8	0.90	61.97	267.7	
REMINDER: Check Storm Drain System for Major Storm Provisions.			*Water Course Legend Figure 2-2 FO - Forest FA - Fallow GR - Grass/Lawn										BG - Bare Ground GW - Grass Waterway SG - Shallow Gut. Flow										NOTES:		Sheet 1 of 1	

HY-8 Culvert Analysis Report

Table 1 - Project Headwater Table

Crossing Name	Culvert Name	Total Discharge (cfs)	Culvert Discharge (cfs)	Headwater Elevation (ft)	Inlet Control Depth (ft)	Outlet Control Depth (ft)	HW / D (ft)	Normal Depth (ft)	Critical Depth (ft)	Outlet Depth (ft)	Outlet Velocity (ft/s)
Culvert	Culvert 1	660.00	660.00	1120.99	7.99	6.010	1.14	3.35	5.13	4.03	16.39

Crossing Discharge Data

Discharge Selection Method: Specify Minimum, Design, and Maximum Flow

Minimum Flow: 0.00 cfs

Design Flow: 660.00 cfs

Maximum Flow: 750.00 cfs

Table 2 - Summary of Culvert Flows at crossing: Culvert

Headwater Elevation (ft)	Total Discharge (cfs)	Culvert 1 Discharge (cfs)	Roadway Discharge (cfs)	Iterations
1113.00	0.00	0.00	0.00	1
1114.87	75.00	75.00	0.00	1
1115.96	150.00	150.00	0.00	1
1116.89	225.00	225.00	0.00	1
1117.71	300.00	300.00	0.00	1
1118.46	375.00	375.00	0.00	1
1119.16	450.00	450.00	0.00	1
1119.82	525.00	525.00	0.00	1
1120.47	600.00	600.00	0.00	1
1120.99	660.00	660.00	0.00	1
1121.77	750.00	750.00	0.00	1
1124.00	984.28	984.28	0.00	Overtopping

Rating Curve Plot for crossing: Culvert

Total Rating Curve
Crossing: Culvert

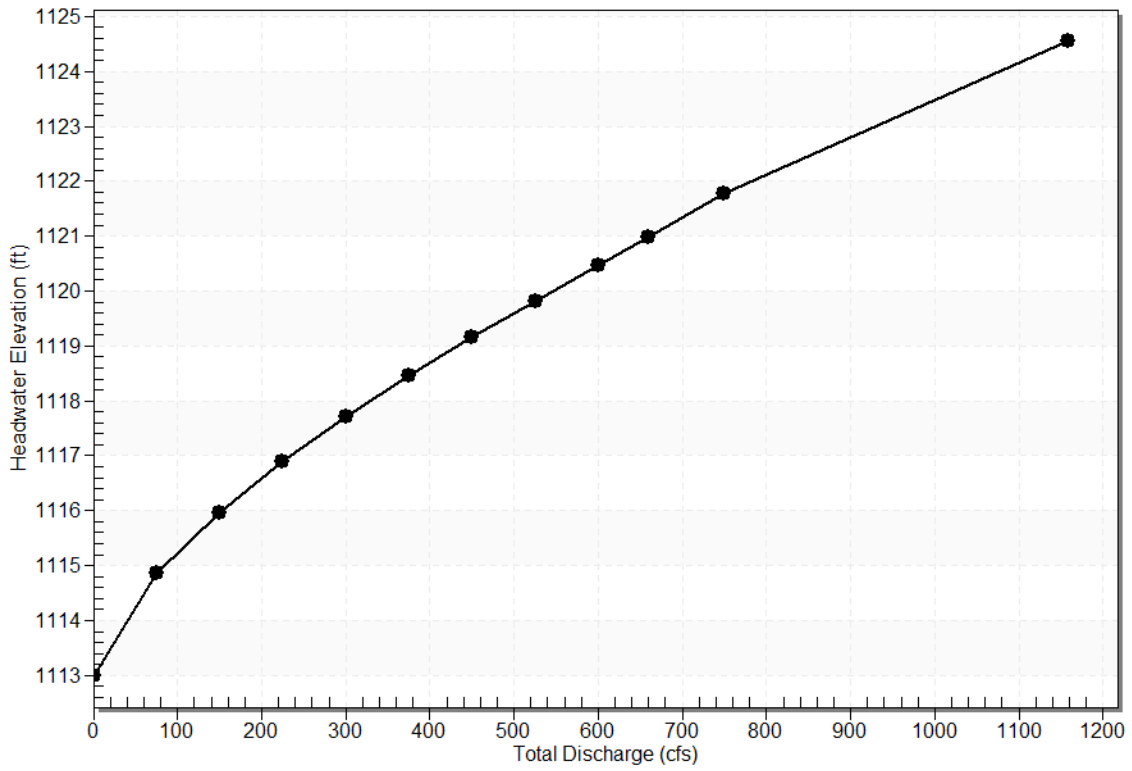


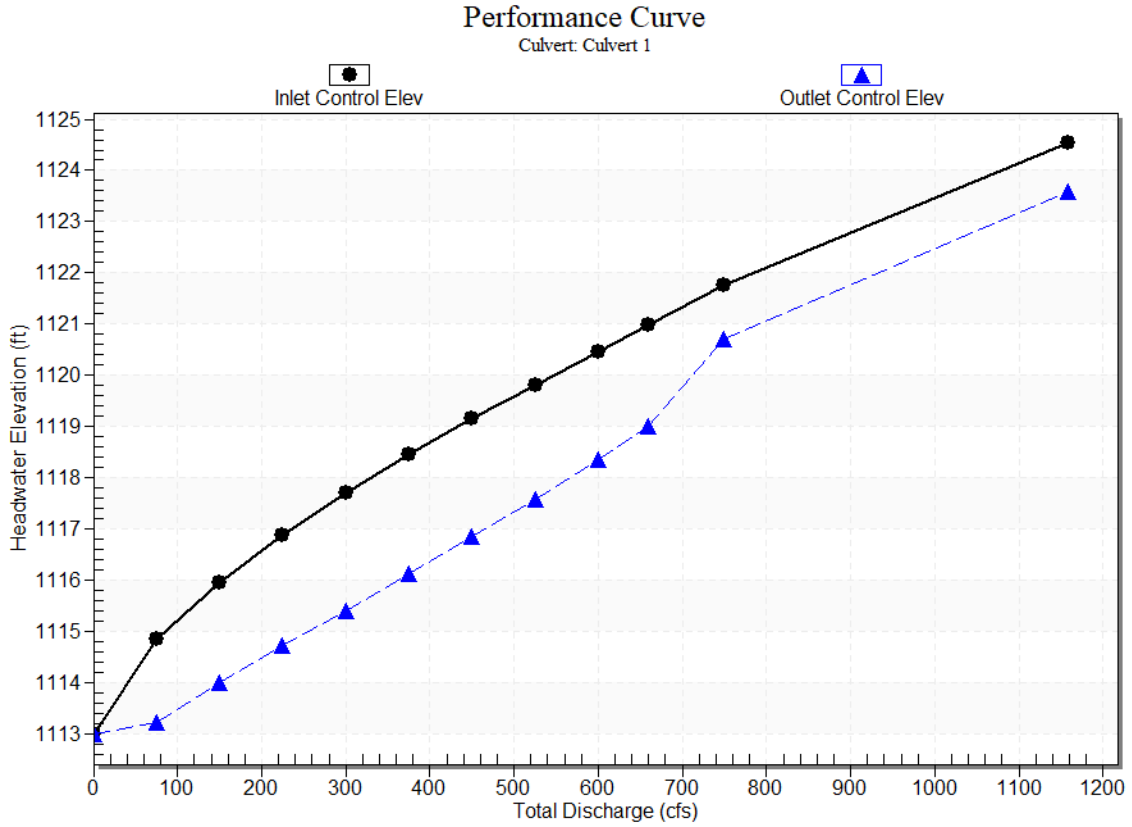
Table 3 - Culvert Summary Table: Culvert 1

Total Discharge (cfs)	Culvert Discharge (cfs)	Headwater Elevation (ft)	Inlet Control Depth (ft)	Outlet Control Depth (ft)	HW / D (ft)	Flow Type	Normal Depth (ft)	Critical Depth (ft)	Outlet Depth (ft)	Tailwater Depth (ft)	Outlet Velocity (ft/s)	Tailwater Velocity (ft/s)
0.00	0.00	1113.00	0.00	0.000	0.00	0-NF	0.00	0.00	0.00	0.00	0.00	0.00
75.00	75.00	1114.87	1.87	0.229	0.27	1-S2n	0.78	1.20	0.82	1.65	9.15	3.85
150.00	150.00	1115.96	2.96	1.009	0.42	1-S2n	1.22	1.91	1.35	2.23	11.15	4.56
225.00	225.00	1116.89	3.89	1.723	0.56	1-S2n	1.60	2.51	1.81	2.61	12.44	4.87
300.00	300.00	1117.71	4.71	2.423	0.67	1-S2n	1.94	3.03	2.24	2.91	13.41	5.04
375.00	375.00	1118.46	5.46	3.127	0.78	1-S2n	2.25	3.52	2.64	3.15	14.19	5.17
450.00	450.00	1119.16	6.16	3.849	0.88	1-S2n	2.55	3.98	3.03	3.37	14.87	5.29
525.00	525.00	1119.82	6.82	4.595	0.97	1-S2n	2.85	4.41	3.40	3.55	15.46	5.40
600.00	600.00	1120.47	7.47	5.368	1.07	5-S2n	3.13	4.82	3.75	3.72	16.00	5.50
660.00	660.00	1120.99	7.99	6.010	1.14	5-S2n	3.35	5.13	4.03	3.85	16.39	5.57
750.00	750.00	1121.77	8.77	7.718	1.25	5-S2n	3.67	5.59	4.43	4.02	16.93	5.68
1159.09	1036.32	1124.55	11.55	10.594	1.65	5-S2n	4.65	6.93	5.64	4.64	18.39	6.33

Culvert Barrel Data

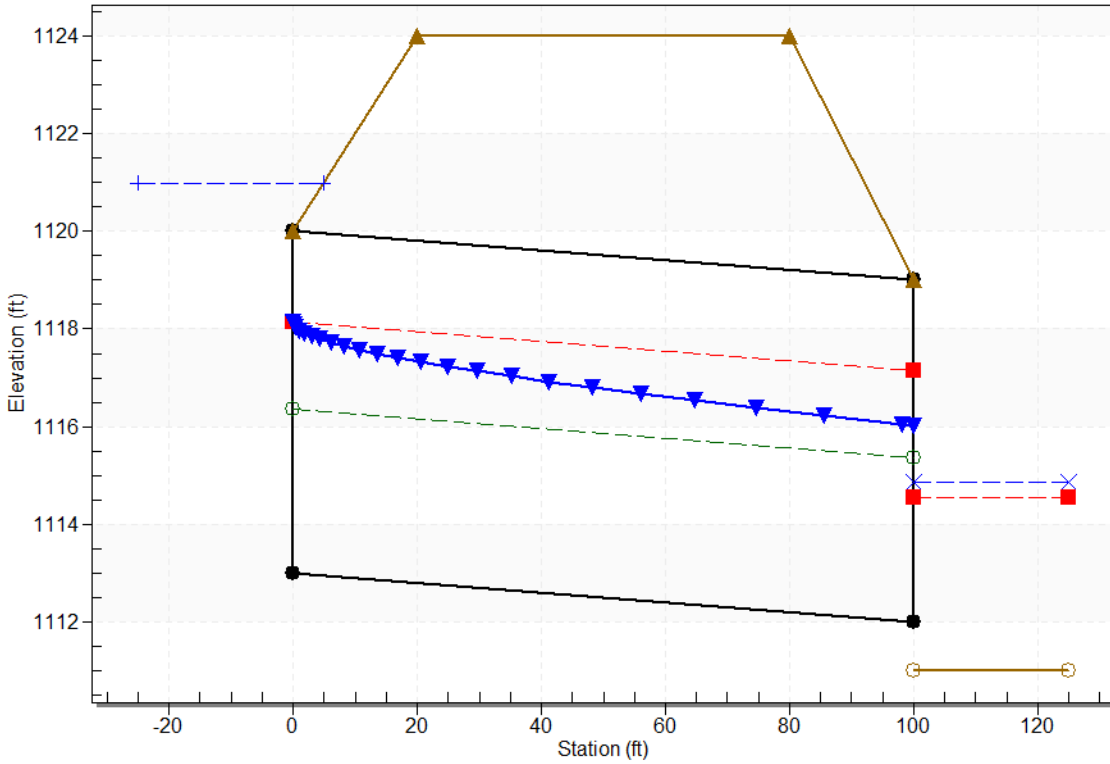
Culvert Barrel Type: Straight Culvert
Inlet Elevation(invert): 1113.00 ft
Outlet Elevation (invert): 1112.00 ft
Culvert Length: 100.00 ft
Culvert Slope: 0.01 ft/ft

Culvert Performance Curve Plot: Culvert 1



Water Surface Profile Plot for Culvert: Culvert 1

Crossing - Culvert, Design Discharge - 660.0 cfs
Culvert - Culvert 1, Culvert Discharge - 660.0 cfs



Site Data - Culvert 1

Site Data Option: Culvert Invert Data

Inlet Station: 0.00 ft

Inlet Elevation: 1113.00 ft

Outlet Station: 100.00 ft

Outlet Elevation: 1112.00 ft

Number of Barrels: 1

Culvert Data Summary - Culvert 1

Barrel Shape: Concrete Box

Barrel Span: 10.00 ft

Barrel Rise: 7.00 ft

Barrel Material: Concrete

Embedment: 0.00 in

Barrel Manning's n: 0.0120

Culvert Type: Straight

Inlet Configuration: 1.5:1 Bevel (18-34° flare) Wingwall (Ke=0.2)

Inlet Depression: None

Tailwater Channel Data for Crossing: Culvert

Tailwater Channel Option: Irregular Channel

Channel Slope: 0.01 ft/ft

User Defined Channel Cross-Section

Coord No.	Station (ft)	Elevation (ft)	Manning's n
1	0.00	1120.00	0.0500
2	32.00	1113.00	0.0500
3	47.00	1111.00	0.0400
4	51.00	1111.00	0.0400
5	55.00	1113.00	0.0500
6	103.00	1115.00	0.0500
7	123.00	1120.00	0.0000

Table 4 - Downstream Channel Rating Curve (crossing: Culvert)

Flow (cfs)	Water Surface Elev (ft)	Depth (ft)	Velocity (ft/s)	Shear (psf)	Froude Number
0.00	1111.00	0.00	0.00	0.00	0.00
75.00	1112.65	1.65	3.85	1.34	0.68
150.00	1113.23	2.23	4.56	1.81	0.76
225.00	1113.61	2.61	4.87	2.12	0.80
300.00	1113.91	2.91	5.04	2.36	0.80
375.00	1114.15	3.15	5.17	2.56	0.80
450.00	1114.37	3.37	5.29	2.73	0.80
525.00	1114.55	3.55	5.40	2.88	0.79
600.00	1114.72	3.72	5.50	3.02	0.79
660.00	1114.85	3.85	5.57	3.12	0.79
750.00	1115.02	4.02	5.68	3.26	0.78

Roadway Data for crossing: Culvert

Roadway Profile Shape: Constant Roadway Elevation

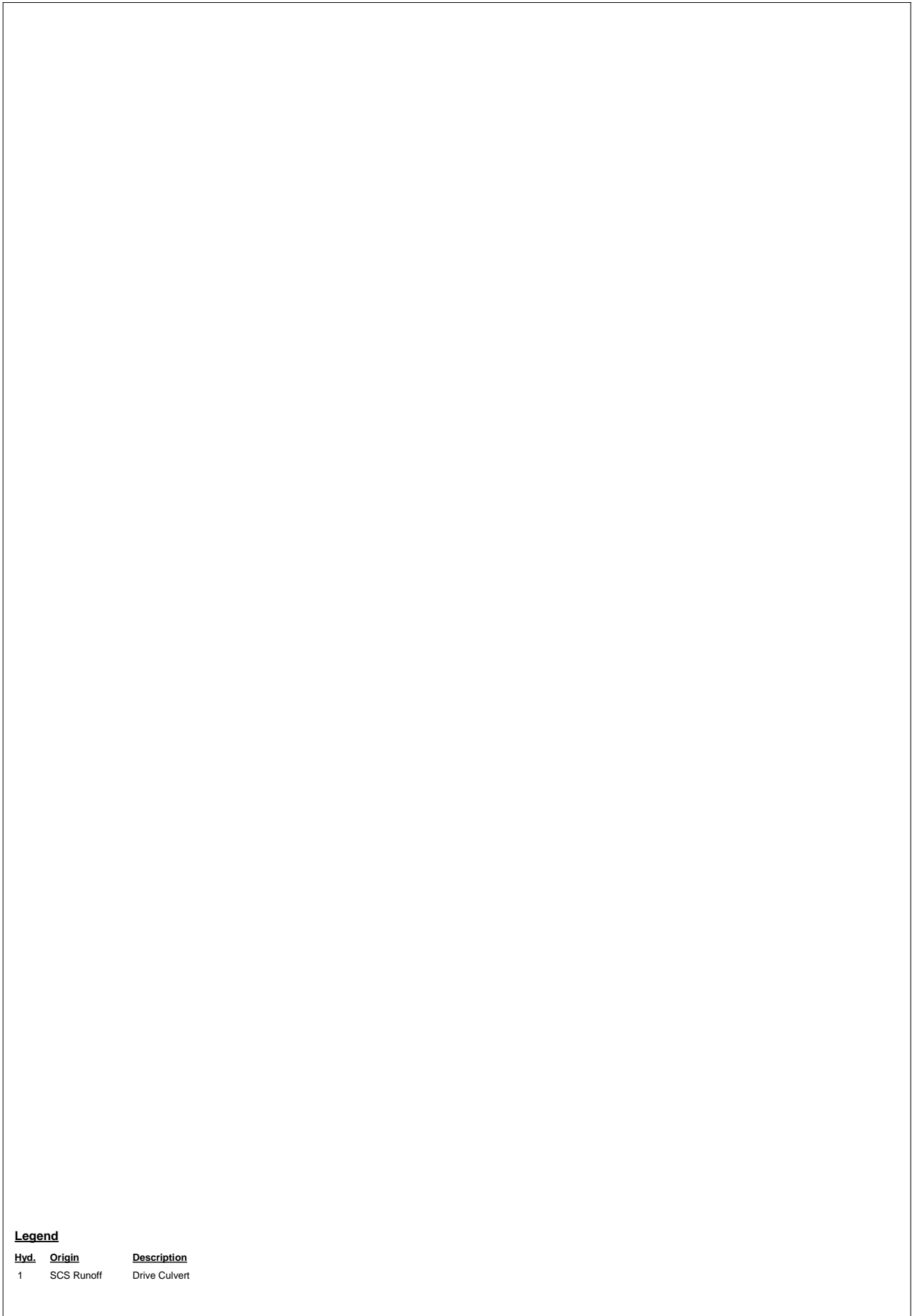
Crest Length: 100.00 ft

Crest Elevation: 1124.00 ft

Roadway Surface: Paved

Roadway Top Width: 60.00 ft

1 Watershed Model Schematic



Legend

<u>Hvd.</u>	<u>Origin</u>	<u>Description</u>
1	SCS Runoff	Drive Culvert

Hydrograph Return Period Recap

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No.	Hydrograph type (origin)	Inflow hyd(s)	Peak Outflow (cfs)								Hydrograph Description
			1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr	
1	SCS Runoff	-----	-----	283.70	-----	-----	485.22	-----	660.62	747.82	Drive Culvert

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	283.70	2	748	1,834,493	-----	-----	-----	Drive Culvert
2439-101 - Hydroflow - Culvert.gpw					Return Period: 2 Year			Thursday, 03 / 5 / 2026	

Hydrograph Report

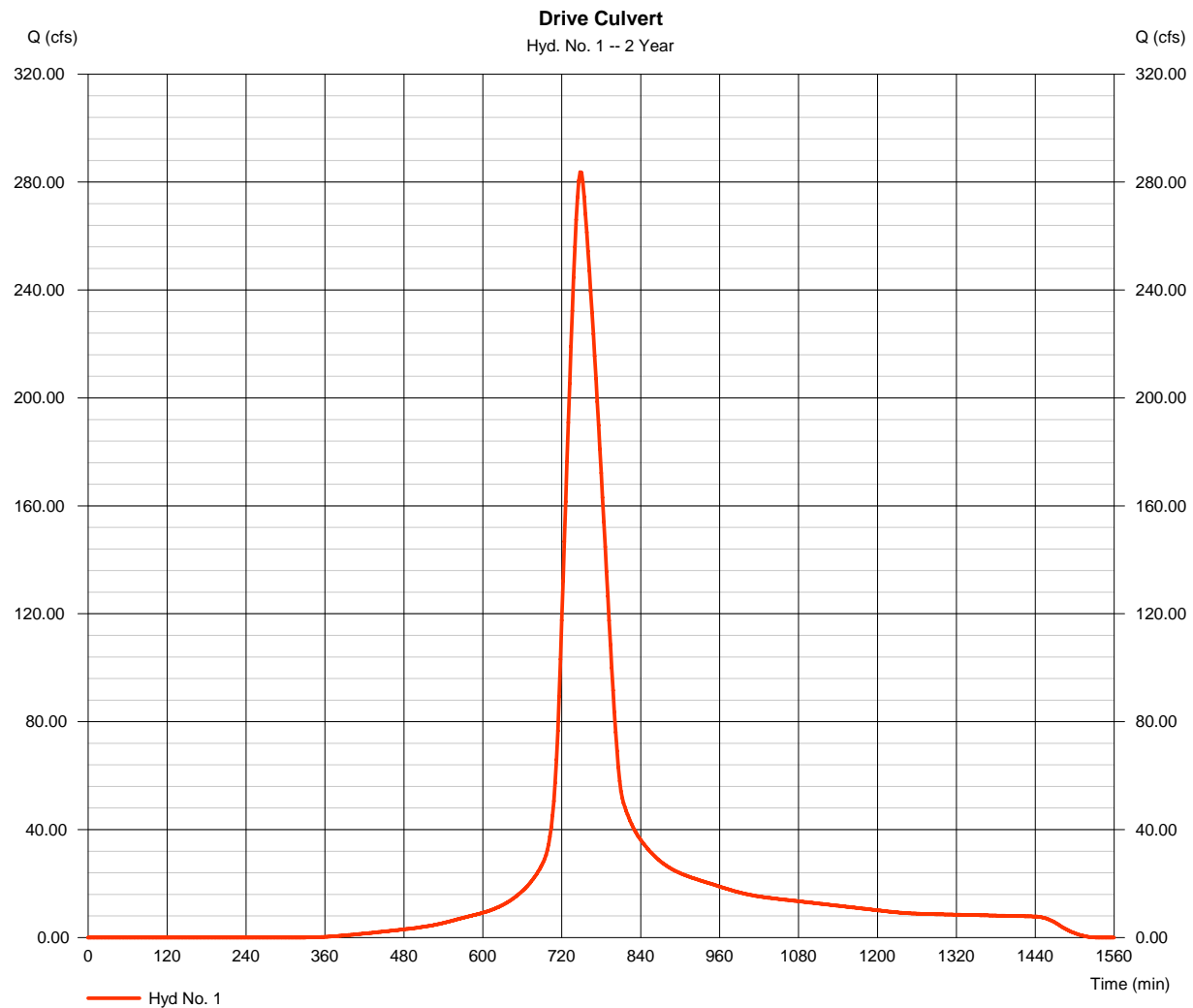
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Thursday, 03 / 5 / 2026

Hyd. No. 1

Drive Culvert

Hydrograph type	= SCS Runoff	Peak discharge	= 283.70 cfs
Storm frequency	= 2 yrs	Time to peak	= 748 min
Time interval	= 2 min	Hyd. volume	= 1,834,493 cuft
Drainage area	= 244.000 ac	Curve number	= 91
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 59.90 min
Total precip.	= 3.00 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484



TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No. 1

Drive Culvert

<u>Description</u>	<u>A</u>		<u>B</u>		<u>C</u>		<u>Totals</u>
Sheet Flow							
Manning's n-value	= 0.011		0.150		0.011		
Flow length (ft)	= 50.0		100.0		0.0		
Two-year 24-hr precip. (in)	= 3.00		3.00		0.00		
Land slope (%)	= 2.00		2.00		0.00		
Travel Time (min)	= 0.72	+	10.12	+	0.00	=	10.84
Shallow Concentrated Flow							
Flow length (ft)	= 5420.00		0.00		0.00		
Watercourse slope (%)	= 1.30		0.00		0.00		
Surface description	= Unpaved		Paved		Paved		
Average velocity (ft/s)	=1.84		0.00		0.00		
Travel Time (min)	= 49.10	+	0.00	+	0.00	=	49.10
Channel Flow							
X sectional flow area (sqft)	= 0.00		0.00		0.00		
Wetted perimeter (ft)	= 0.00		0.00		0.00		
Channel slope (%)	= 0.00		0.00		0.00		
Manning's n-value	= 0.015		0.015		0.015		
Velocity (ft/s)	=0.00		0.00		0.00		
					0.00		
Flow length (ft)	{{0}}0.0		0.0		0.0		
Travel Time (min)	= 0.00	+	0.00	+	0.00	=	0.00
Total Travel Time, Tc							59.90 min

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	485.22	2	748	3,183,827	-----	-----	-----	Drive Culvert
2439-101 - Hydroflow - Culvert.gpw					Return Period: 10 Year			Thursday, 03 / 5 / 2026	

Hydrograph Report

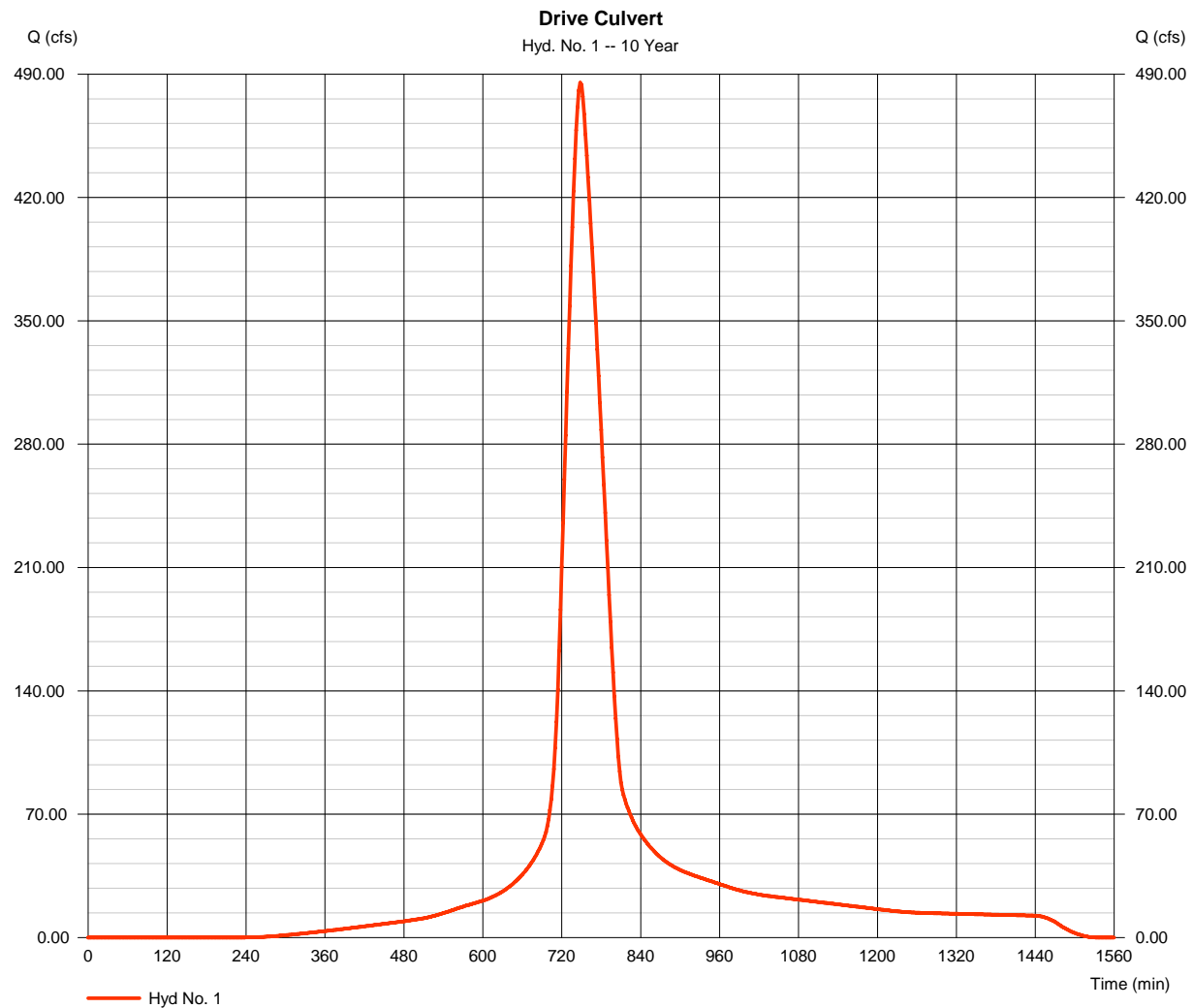
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Thursday, 03 / 5 / 2026

Hyd. No. 1

Drive Culvert

Hydrograph type	= SCS Runoff	Peak discharge	= 485.22 cfs
Storm frequency	= 10 yrs	Time to peak	= 748 min
Time interval	= 2 min	Hyd. volume	= 3,183,827 cuft
Drainage area	= 244.000 ac	Curve number	= 91
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 59.90 min
Total precip.	= 4.60 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

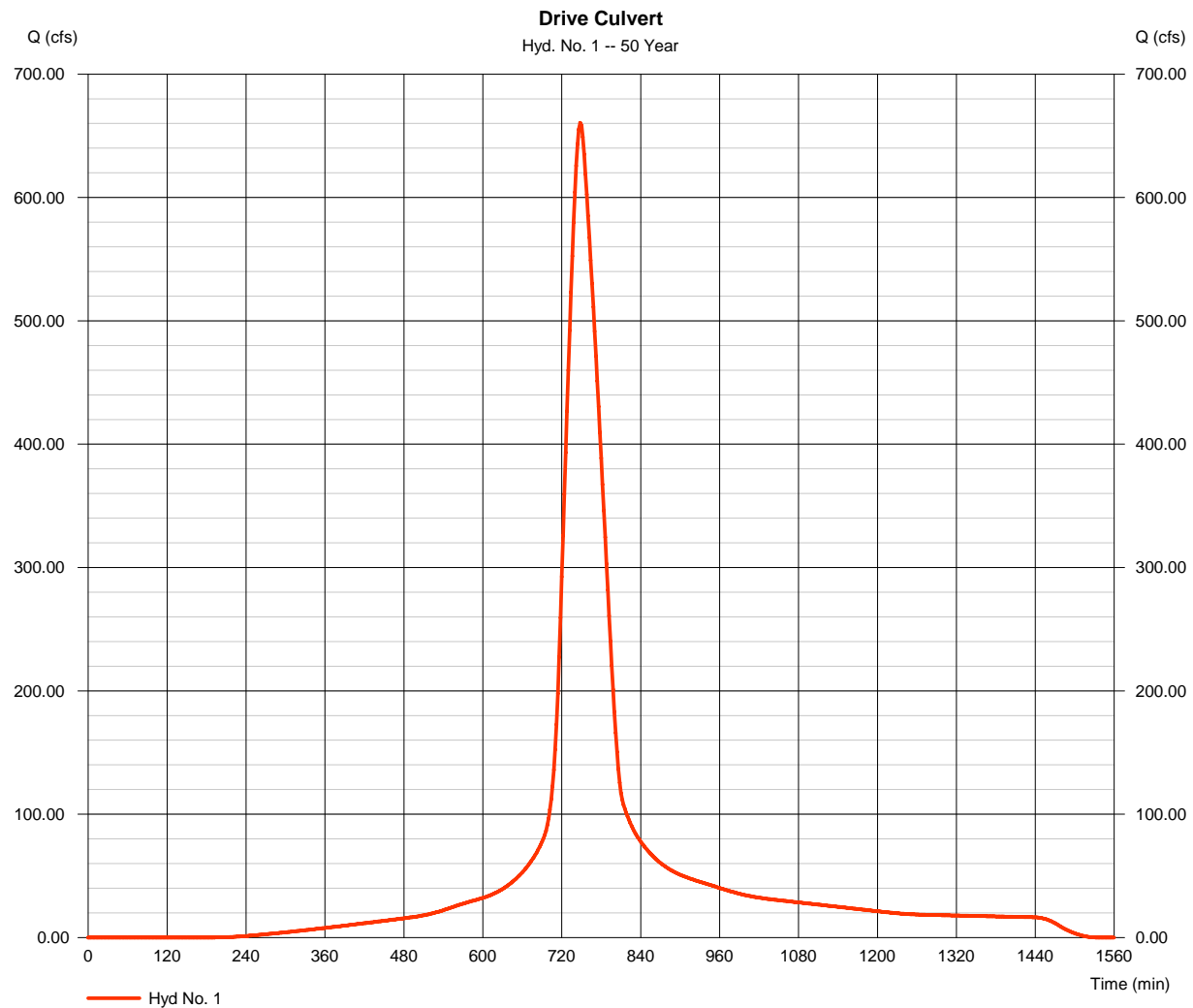
Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	660.62	2	748	4,390,705	-----	-----	-----	Drive Culvert
2439-101 - Hydroflow - Culvert.gpw					Return Period: 50 Year			Thursday, 03 / 5 / 2026	

Hydrograph Report

Hyd. No. 1

Drive Culvert

Hydrograph type	= SCS Runoff	Peak discharge	= 660.62 cfs
Storm frequency	= 50 yrs	Time to peak	= 748 min
Time interval	= 2 min	Hyd. volume	= 4,390,705 cuft
Drainage area	= 244.000 ac	Curve number	= 91
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 59.90 min
Total precip.	= 6.00 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

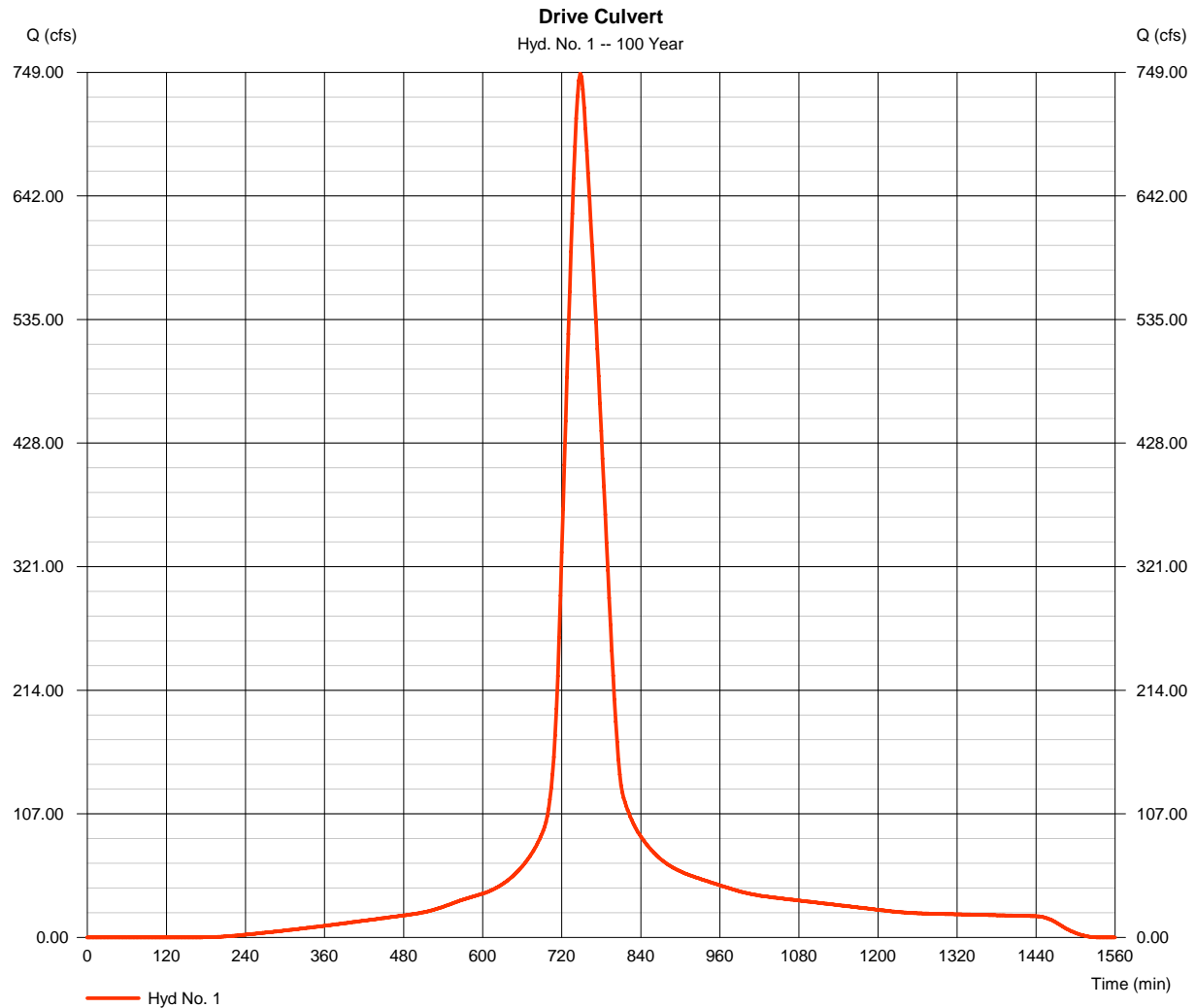
Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	747.82	2	748	4,998,790	-----	-----	-----	Drive Culvert
2439-101 - Hydroflow - Culvert.gpw					Return Period: 100 Year			Thursday, 03 / 5 / 2026	

Hydrograph Report

Hyd. No. 1

Drive Culvert

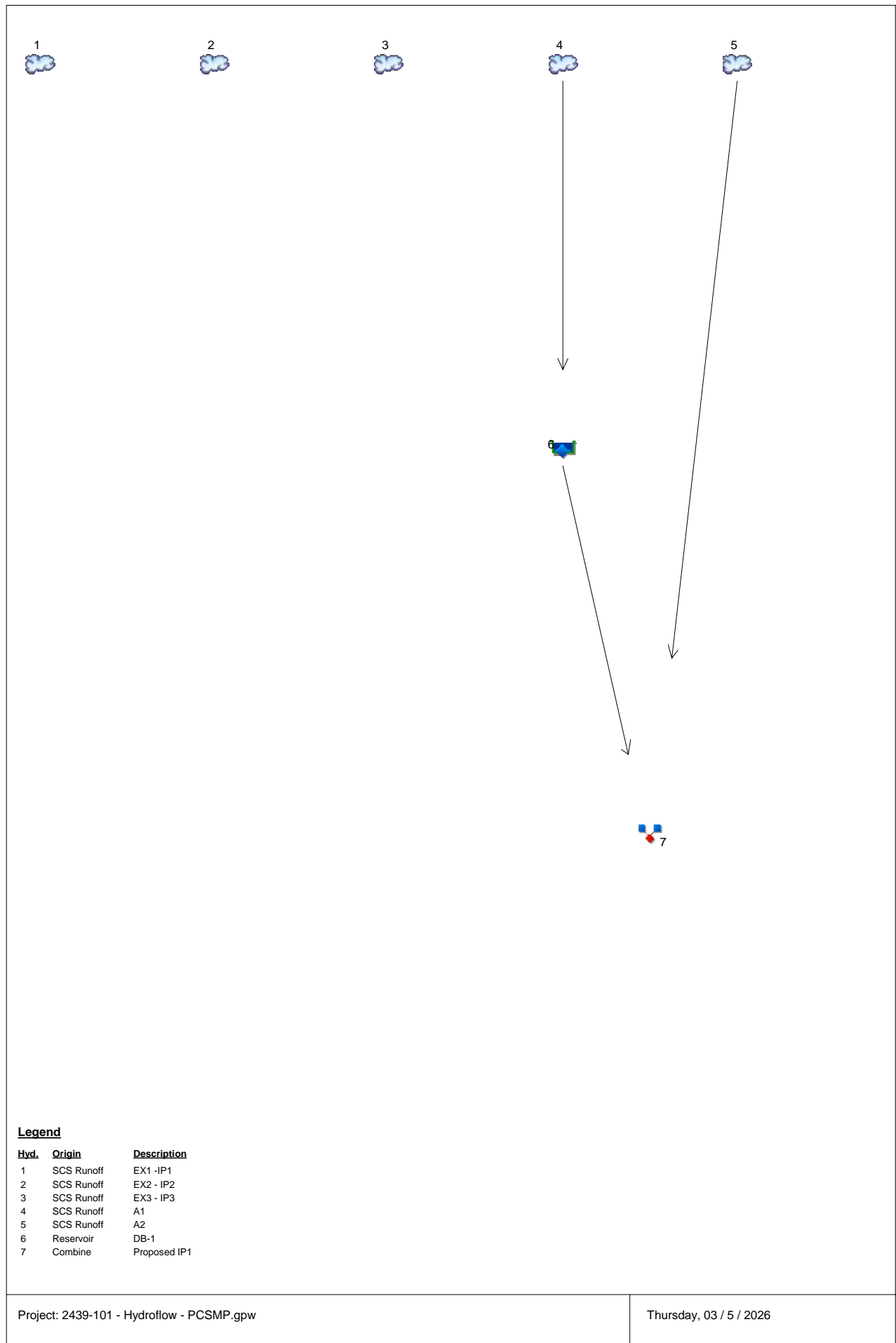
Hydrograph type	= SCS Runoff	Peak discharge	= 747.82 cfs
Storm frequency	= 100 yrs	Time to peak	= 748 min
Time interval	= 2 min	Hyd. volume	= 4,998,790 cuft
Drainage area	= 244.000 ac	Curve number	= 91
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 59.90 min
Total precip.	= 6.70 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484



Watershed Model Schematic.....	1
Hydrograph Return Period Recap.....	2
2 - Year	
Summary Report.....	3
Hydrograph Reports.....	4
Hydrograph No. 1, SCS Runoff, Drive Culvert.....	4
TR-55 Tc Worksheet.....	5
10 - Year	
Summary Report.....	6
Hydrograph Reports.....	7
Hydrograph No. 1, SCS Runoff, Drive Culvert.....	7
50 - Year	
Summary Report.....	8
Hydrograph Reports.....	9
Hydrograph No. 1, SCS Runoff, Drive Culvert.....	9
100 - Year	
Summary Report.....	10
Hydrograph Reports.....	11
Hydrograph No. 1, SCS Runoff, Drive Culvert.....	11
IDF Report.....	12

Watershed Model Schematic

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024



Hydrograph Return Period Recap

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No.	Hydrograph type (origin)	Inflow hyd(s)	Peak Outflow (cfs)								Hydrograph Description
			1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr	
1	SCS Runoff	-----	-----	52.75	-----	-----	117.69	-----	179.89	211.93	EX1 - IP1
2	SCS Runoff	-----	-----	12.28	-----	-----	26.78	-----	40.63	47.72	EX2 - IP2
3	SCS Runoff	-----	-----	7.290	-----	-----	15.45	-----	23.28	27.27	EX3 - IP3
4	SCS Runoff	-----	-----	157.49	-----	-----	267.12	-----	362.25	409.51	A1
5	SCS Runoff	-----	-----	13.34	-----	-----	27.30	-----	40.40	47.04	A2
6	Reservoir	4	-----	18.57	-----	-----	93.07	-----	150.18	174.56	DB-1
7	Combine	5, 6	-----	24.37	-----	-----	96.09	-----	154.70	179.76	Proposed IP1

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	52.75	2	734	239,337	-----	-----	-----	EX1 - IP1	
2	SCS Runoff	12.28	2	722	32,476	-----	-----	-----	EX2 - IP2	
3	SCS Runoff	7.290	2	718	14,579	-----	-----	-----	EX3 - IP3	
4	SCS Runoff	157.49	2	724	498,020	-----	-----	-----	A1	
5	SCS Runoff	13.34	2	718	26,694	-----	-----	-----	A2	
6	Reservoir	18.57	2	760	498,006	4	1136.55	260,952	DB-1	
7	Combine	24.37	2	718	524,699	5, 6	-----	-----	Proposed IP1	
2439-101 - Hydroflow - PCSMP.gpw					Return Period: 2 Year			Thursday, 03 / 5 / 2026		

Hydrograph Report

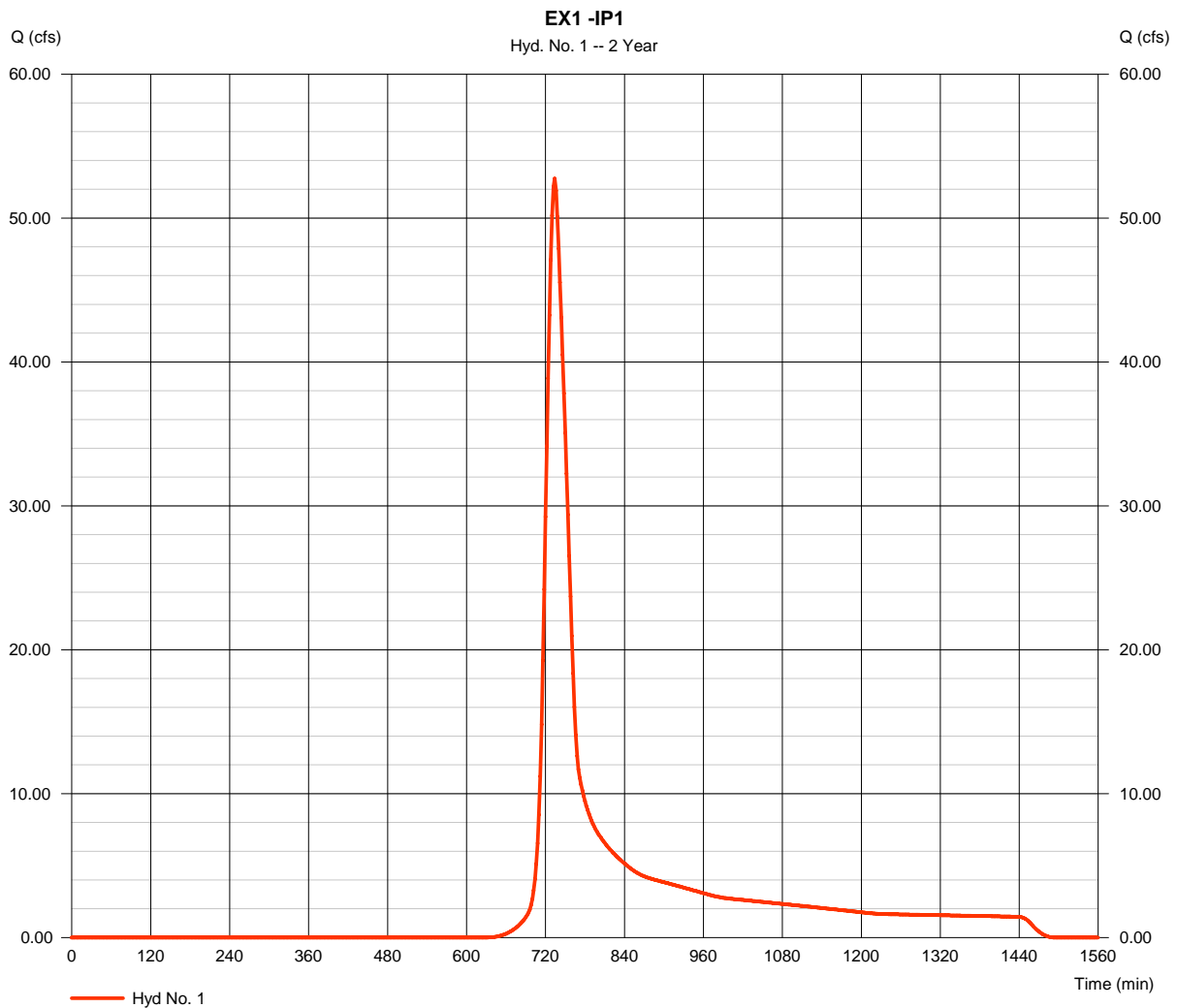
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Thursday, 03 / 5 / 2026

Hyd. No. 1

EX1 -IP1

Hydrograph type	= SCS Runoff	Peak discharge	= 52.75 cfs
Storm frequency	= 2 yrs	Time to peak	= 734 min
Time interval	= 2 min	Hyd. volume	= 239,337 cuft
Drainage area	= 60.800 ac	Curve number	= 77
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 33.10 min
Total precip.	= 3.00 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484



TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No. 1

EX1 -IP1

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>
Sheet Flow				
Manning's n-value	= 0.170	0.011	0.011	
Flow length (ft)	= 100.0	0.0	0.0	
Two-year 24-hr precip. (in)	= 3.00	0.00	0.00	
Land slope (%)	= 2.00	0.00	0.00	
Travel Time (min)	= 11.18	+ 0.00	+ 0.00	= 11.18
Shallow Concentrated Flow				
Flow length (ft)	= 3000.00	0.00	0.00	
Watercourse slope (%)	= 2.00	0.00	0.00	
Surface description	= Unpaved	Paved	Paved	
Average velocity (ft/s)	=2.28	0.00	0.00	
Travel Time (min)	= 21.91	+ 0.00	+ 0.00	= 21.91
Channel Flow				
X sectional flow area (sqft)	= 0.00	0.00	0.00	
Wetted perimeter (ft)	= 0.00	0.00	0.00	
Channel slope (%)	= 0.00	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	=0.00	0.00	0.00	
Flow length (ft)	{{0}}0.0	0.0	0.0	
Travel Time (min)	= 0.00	+ 0.00	+ 0.00	= 0.00
Total Travel Time, Tc				33.10 min

Hydrograph Report

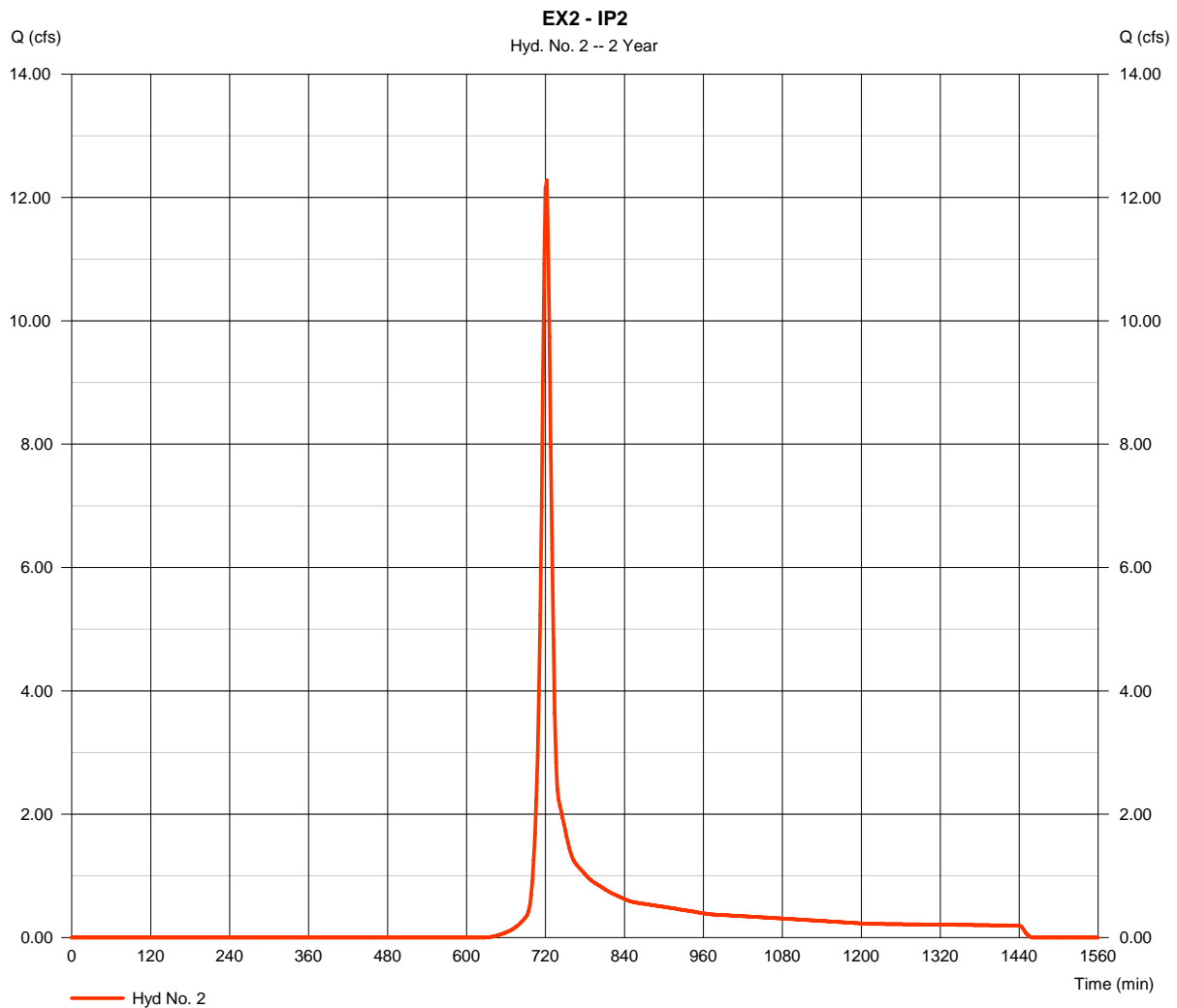
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Thursday, 03 / 5 / 2026

Hyd. No. 2

EX2 - IP2

Hydrograph type	= SCS Runoff	Peak discharge	= 12.28 cfs
Storm frequency	= 2 yrs	Time to peak	= 722 min
Time interval	= 2 min	Hyd. volume	= 32,476 cuft
Drainage area	= 8.100 ac	Curve number	= 77
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 10.00 min
Total precip.	= 3.00 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484



Hydrograph Report

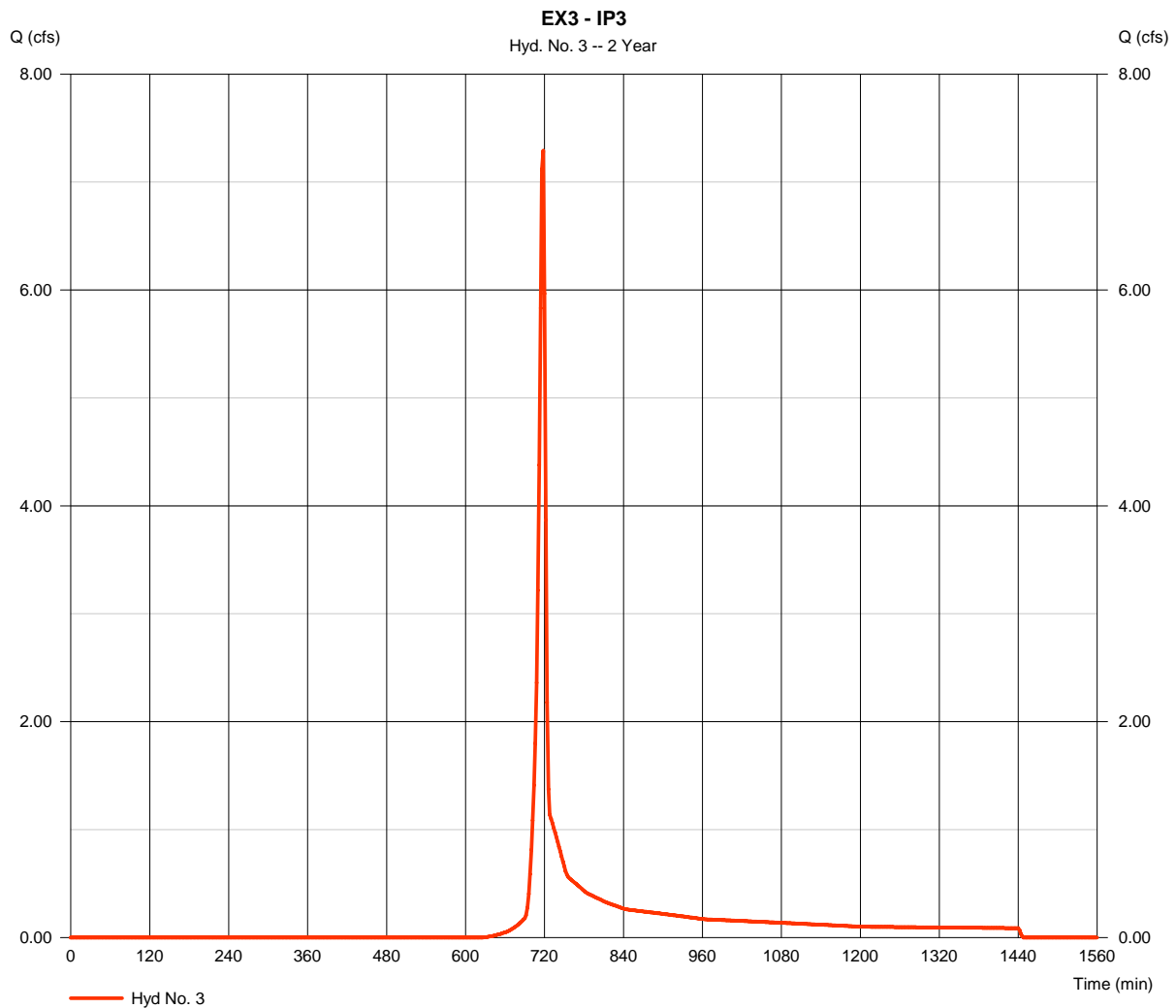
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Thursday, 03 / 5 / 2026

Hyd. No. 3

EX3 - IP3

Hydrograph type	= SCS Runoff	Peak discharge	= 7.290 cfs
Storm frequency	= 2 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 14,579 cuft
Drainage area	= 4.000 ac	Curve number	= 77
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 3.00 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484



Hydrograph Report

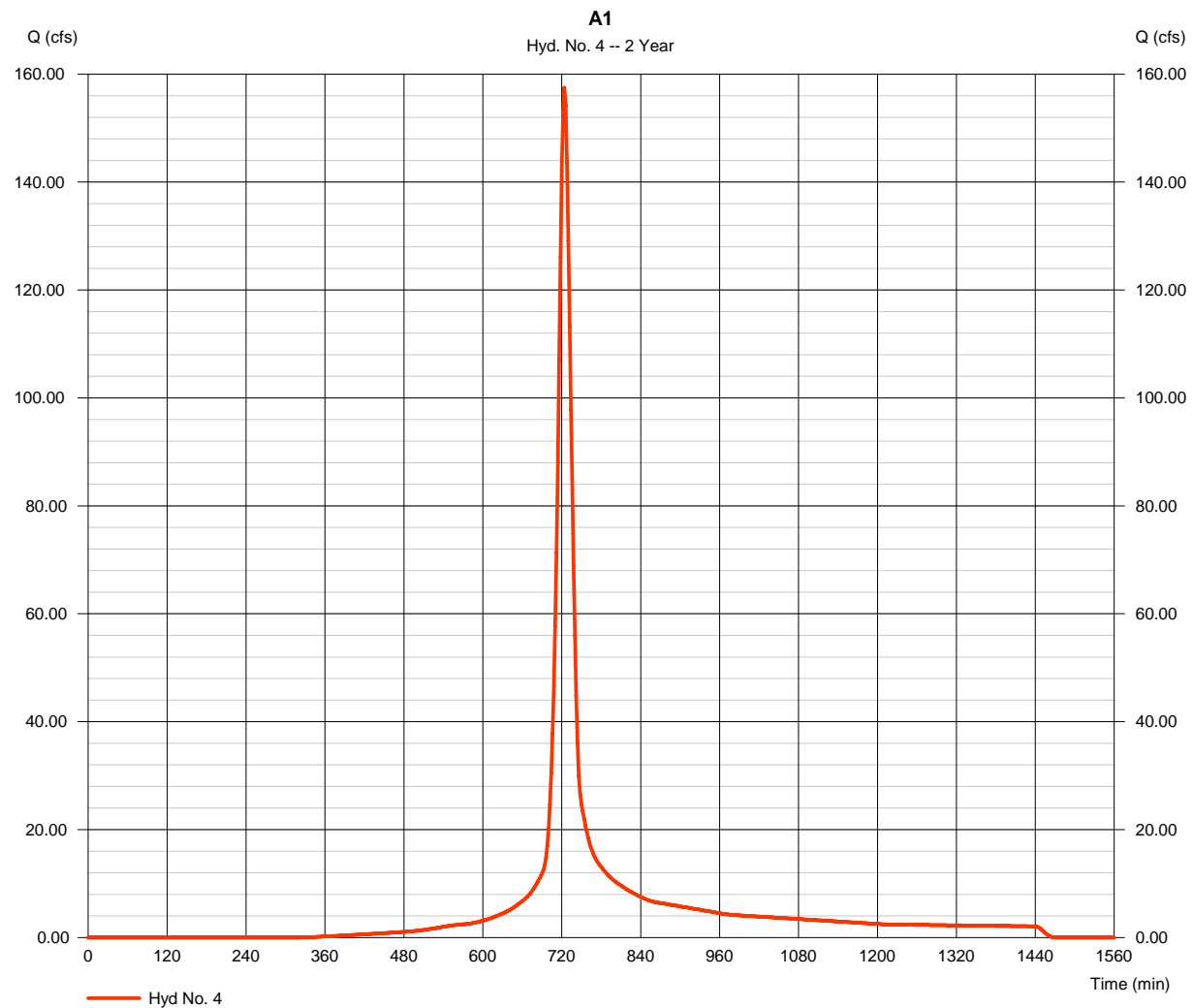
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Thursday, 03 / 5 / 2026

Hyd. No. 4

A1

Hydrograph type	= SCS Runoff	Peak discharge	= 157.49 cfs
Storm frequency	= 2 yrs	Time to peak	= 724 min
Time interval	= 2 min	Hyd. volume	= 498,020 cuft
Drainage area	= 66.240 ac	Curve number	= 91
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 19.90 min
Total precip.	= 3.00 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484



TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No. 4

A1

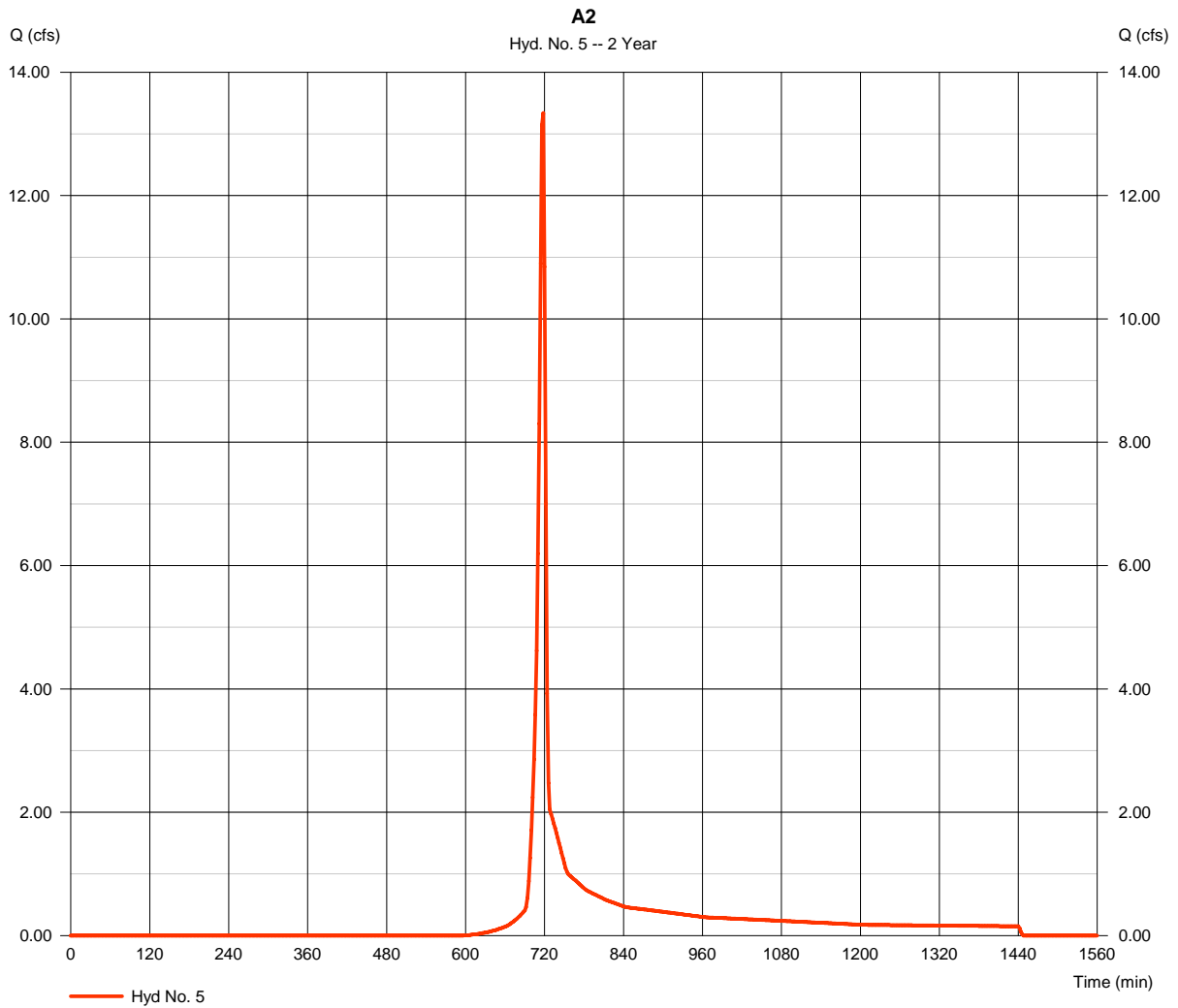
<u>Description</u>	<u>A</u>		<u>B</u>		<u>C</u>		<u>Totals</u>
Sheet Flow							
Manning's n-value	= 0.150		0.011		0.011		
Flow length (ft)	= 50.0		0.0		0.0		
Two-year 24-hr precip. (in)	= 3.00		0.00		0.00		
Land slope (%)	= 2.00		0.00		0.00		
Travel Time (min)	= 5.81	+	0.00	+	0.00	=	5.81
Shallow Concentrated Flow							
Flow length (ft)	= 1400.00		0.00		0.00		
Watercourse slope (%)	= 1.00		0.00		0.00		
Surface description	= Paved		Paved		Paved		
Average velocity (ft/s)	=2.03		0.00		0.00		
Travel Time (min)	= 11.48	+	0.00	+	0.00	=	11.48
Channel Flow							
X sectional flow area (sqft)	= 15.90		0.00		0.00		
Wetted perimeter (ft)	= 14.10		0.00		0.00		
Channel slope (%)	= 1.00		0.00		0.00		
Manning's n-value	= 0.015		0.015		0.015		
Velocity (ft/s)	=10.77		0.00		0.00		
					0.00		
Flow length (ft)	{{0}}1700.0		0.0		0.0		
Travel Time (min)	= 2.63	+	0.00	+	0.00	=	2.63
Total Travel Time, Tc							19.90 min

Hydrograph Report

Hyd. No. 5

A2

Hydrograph type	= SCS Runoff	Peak discharge	= 13.34 cfs
Storm frequency	= 2 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 26,694 cuft
Drainage area	= 6.600 ac	Curve number	= 79
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 3.00 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484



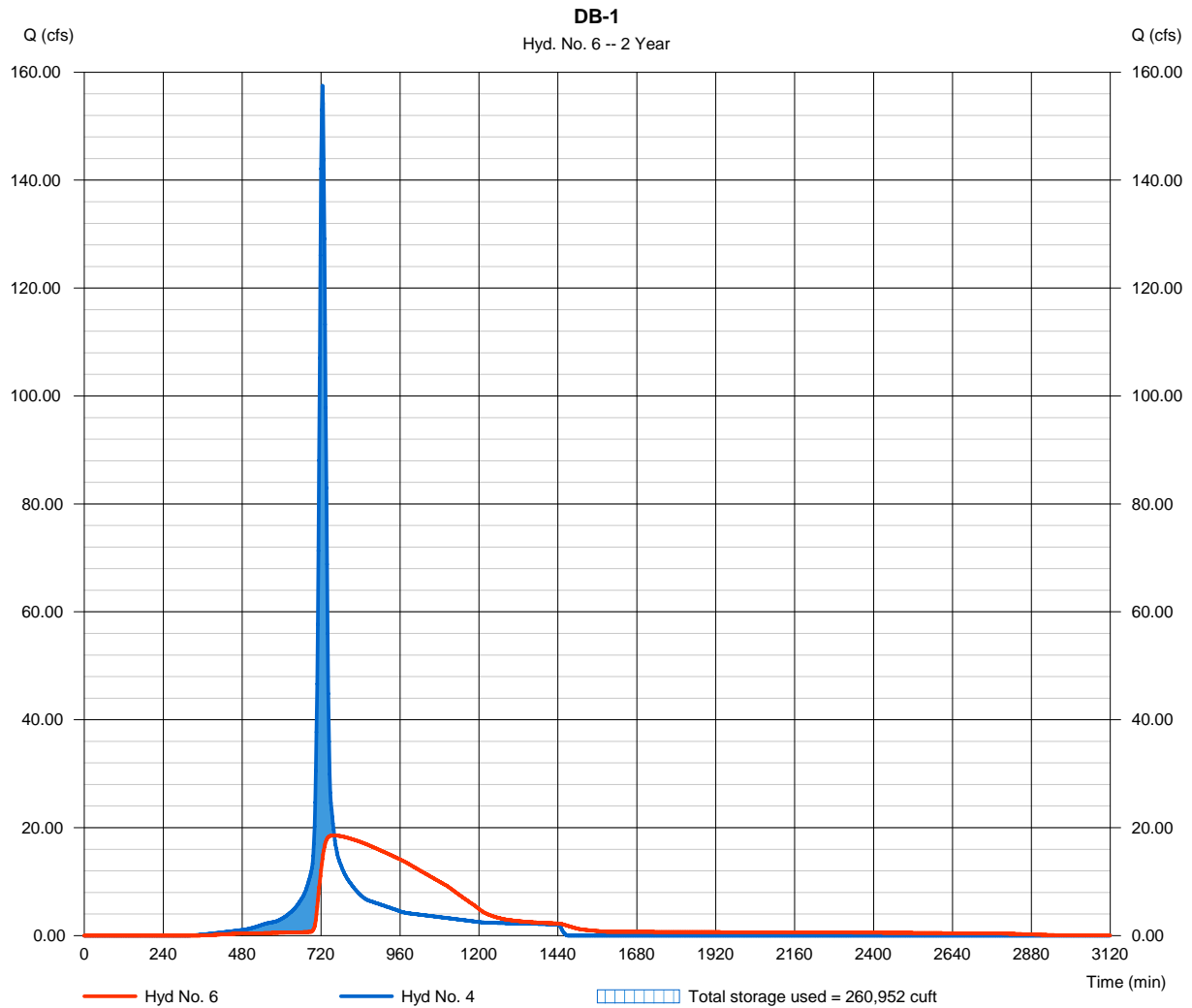
Hydrograph Report

Hyd. No. 6

DB-1

Hydrograph type	= Reservoir	Peak discharge	= 18.57 cfs
Storm frequency	= 2 yrs	Time to peak	= 760 min
Time interval	= 2 min	Hyd. volume	= 498,006 cuft
Inflow hyd. No.	= 4 - A1	Max. Elevation	= 1136.55 ft
Reservoir name	= DB-1	Max. Storage	= 260,952 cuft

Storage Indication method used.



Pond No. 1 - DB-1

Pond Data

Contours -User-defined contour areas. Average end area method used for volume calculation. Begning Elevation = 1130.00 ft

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	1130.00	00	0	0
1.00	1131.00	5,511	2,756	2,756
2.00	1132.00	20,360	12,936	15,691
3.00	1133.00	36,760	28,560	44,251
4.00	1134.00	50,130	43,445	87,696
5.00	1135.00	68,500	59,315	147,011
6.00	1136.00	74,100	71,300	218,311
7.00	1137.00	79,770	76,935	295,246
8.00	1138.00	85,500	82,635	377,881
9.00	1139.00	91,270	88,385	466,266
10.00	1140.00	97,100	94,185	560,451

Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 42.00	4.00	6.00	0.00
Span (in)	= 42.00	4.00	24.00	0.00
No. Barrels	= 1	1	2	0
Invert El. (ft)	= 1127.00	1130.01	1133.00	0.00
Length (ft)	= 160.00	0.50	0.50	0.00
Slope (%)	= 5.00	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	Yes	Yes	No

Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 14.85	10.00	0.00	0.00
Crest El. (ft)	= 1137.00	1139.00	0.00	0.00
Weir Coeff.	= 3.33	2.60	3.33	3.33
Weir Type	= 1	Broad	---	---
Multi-Stage	= Yes	No	No	No
Exfil.(in/hr)	= 0.000 (by Contour)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).

Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	Clv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	1130.00	0.00	0.00	0.00	---	0.00	0.00	---	---	---	---	0.000
0.10	276	1130.10	51.86 ic	0.02 ic	0.00	---	0.00	0.00	---	---	---	---	0.020
0.20	551	1130.20	51.86 ic	0.08 ic	0.00	---	0.00	0.00	---	---	---	---	0.076
0.30	827	1130.30	51.86 ic	0.15 ic	0.00	---	0.00	0.00	---	---	---	---	0.148
0.40	1,102	1130.40	51.86 ic	0.20 ic	0.00	---	0.00	0.00	---	---	---	---	0.198
0.50	1,378	1130.50	51.86 ic	0.24 ic	0.00	---	0.00	0.00	---	---	---	---	0.239
0.60	1,653	1130.60	51.86 ic	0.27 ic	0.00	---	0.00	0.00	---	---	---	---	0.273
0.70	1,929	1130.70	51.86 ic	0.30 ic	0.00	---	0.00	0.00	---	---	---	---	0.304
0.80	2,204	1130.80	51.86 ic	0.33 ic	0.00	---	0.00	0.00	---	---	---	---	0.332
0.90	2,480	1130.90	51.86 ic	0.36 ic	0.00	---	0.00	0.00	---	---	---	---	0.357
1.00	2,756	1131.00	51.86 ic	0.38 ic	0.00	---	0.00	0.00	---	---	---	---	0.381
1.10	4,049	1131.10	51.86 ic	0.40 ic	0.00	---	0.00	0.00	---	---	---	---	0.404
1.20	5,343	1131.20	51.86 ic	0.42 ic	0.00	---	0.00	0.00	---	---	---	---	0.425
1.30	6,636	1131.30	51.86 ic	0.45 ic	0.00	---	0.00	0.00	---	---	---	---	0.445
1.40	7,930	1131.40	51.86 ic	0.46 ic	0.00	---	0.00	0.00	---	---	---	---	0.465
1.50	9,223	1131.50	51.86 ic	0.48 ic	0.00	---	0.00	0.00	---	---	---	---	0.483
1.60	10,517	1131.60	51.86 ic	0.50 ic	0.00	---	0.00	0.00	---	---	---	---	0.501
1.70	11,810	1131.70	51.86 ic	0.52 ic	0.00	---	0.00	0.00	---	---	---	---	0.519
1.80	13,104	1131.80	51.86 ic	0.54 ic	0.00	---	0.00	0.00	---	---	---	---	0.535
1.90	14,397	1131.90	51.86 ic	0.55 ic	0.00	---	0.00	0.00	---	---	---	---	0.551
2.00	15,691	1132.00	51.86 ic	0.57 ic	0.00	---	0.00	0.00	---	---	---	---	0.567
2.10	18,547	1132.10	51.86 ic	0.58 ic	0.00	---	0.00	0.00	---	---	---	---	0.583
2.20	21,403	1132.20	51.86 ic	0.60 ic	0.00	---	0.00	0.00	---	---	---	---	0.598
2.30	24,259	1132.30	51.86 ic	0.61 ic	0.00	---	0.00	0.00	---	---	---	---	0.612
2.40	27,115	1132.40	51.86 ic	0.63 ic	0.00	---	0.00	0.00	---	---	---	---	0.626
2.50	29,971	1132.50	51.86 ic	0.64 ic	0.00	---	0.00	0.00	---	---	---	---	0.640
2.60	32,827	1132.60	51.86 ic	0.65 ic	0.00	---	0.00	0.00	---	---	---	---	0.654
2.70	35,683	1132.70	51.86 ic	0.67 ic	0.00	---	0.00	0.00	---	---	---	---	0.667
2.80	38,539	1132.80	51.86 ic	0.68 ic	0.00	---	0.00	0.00	---	---	---	---	0.680
2.90	41,395	1132.90	51.86 ic	0.69 ic	0.00	---	0.00	0.00	---	---	---	---	0.693
3.00	44,251	1133.00	51.86 ic	0.71 ic	0.00	---	0.00	0.00	---	---	---	---	0.706
3.10	48,596	1133.10	51.86 ic	0.72 ic	0.43 ic	---	0.00	0.00	---	---	---	---	1.149
3.20	52,940	1133.20	51.86 ic	0.73 ic	1.22 ic	---	0.00	0.00	---	---	---	---	1.948
3.30	57,285	1133.30	51.86 ic	0.74 ic	2.24 ic	---	0.00	0.00	---	---	---	---	2.979
3.40	61,629	1133.40	51.86 ic	0.75 ic	3.44 ic	---	0.00	0.00	---	---	---	---	4.198
3.50	65,974	1133.50	51.86 ic	0.77 ic	4.81 ic	---	0.00	0.00	---	---	---	---	5.579
3.60	70,318	1133.60	51.86 ic	0.78 ic	5.70 ic	---	0.00	0.00	---	---	---	---	6.473
3.70	74,663	1133.70	51.86 ic	0.79 ic	6.46 ic	---	0.00	0.00	---	---	---	---	7.247
3.80	79,007	1133.80	51.86 ic	0.80 ic	7.14 ic	---	0.00	0.00	---	---	---	---	7.940
3.90	83,352	1133.90	51.86 ic	0.81 ic	7.76 ic	---	0.00	0.00	---	---	---	---	8.573
4.00	87,696	1134.00	51.86 ic	0.82 ic	8.34 ic	---	0.00	0.00	---	---	---	---	9.161
4.10	93,628	1134.10	51.86 ic	0.83 ic	8.89 ic	---	0.00	0.00	---	---	---	---	9.710
4.20	99,559	1134.20	51.86 ic	0.84 ic	9.39 ic	---	0.00	0.00	---	---	---	---	10.23
4.30	105,491	1134.30	51.86 ic	0.85 ic	9.87 ic	---	0.00	0.00	---	---	---	---	10.72
4.40	111,422	1134.40	51.86 ic	0.86 ic	10.33 ic	---	0.00	0.00	---	---	---	---	11.19
4.50	117,354	1134.50	51.86 ic	0.87 ic	10.77 ic	---	0.00	0.00	---	---	---	---	11.64
4.60	123,285	1134.60	51.86 ic	0.88 ic	11.19 ic	---	0.00	0.00	---	---	---	---	12.07
4.70	129,217	1134.70	51.86 ic	0.89 ic	11.60 ic	---	0.00	0.00	---	---	---	---	12.49
4.80	135,148	1134.80	51.86 ic	0.90 ic	11.99 ic	---	0.00	0.00	---	---	---	---	12.89
4.90	141,080	1134.90	51.86 ic	0.91 ic	12.37 ic	---	0.00	0.00	---	---	---	---	13.28
5.00	147,011	1135.00	51.86 ic	0.92 ic	12.74 ic	---	0.00	0.00	---	---	---	---	13.66
5.10	154,141	1135.10	51.86 ic	0.93 ic	13.10 ic	---	0.00	0.00	---	---	---	---	14.03
5.20	161,271	1135.20	51.86 ic	0.94 ic	13.45 ic	---	0.00	0.00	---	---	---	---	14.39
5.30	168,401	1135.30	51.86 ic	0.95 ic	13.79 ic	---	0.00	0.00	---	---	---	---	14.74
5.40	175,531	1135.40	51.86 ic	0.96 ic	14.12 ic	---	0.00	0.00	---	---	---	---	15.08
5.50	182,661	1135.50	51.86 ic	0.97 ic	14.44 ic	---	0.00	0.00	---	---	---	---	15.41
5.60	189,791	1135.60	51.86 ic	0.98 ic	14.76 ic	---	0.00	0.00	---	---	---	---	15.74
5.70	196,921	1135.70	51.86 ic	0.99 ic	15.07 ic	---	0.00	0.00	---	---	---	---	16.06
5.80	204,051	1135.80	51.86 ic	1.00 ic	15.38 ic	---	0.00	0.00	---	---	---	---	16.37
5.90	211,181	1135.90	51.86 ic	1.01 ic	15.68 ic	---	0.00	0.00	---	---	---	---	16.68
6.00	218,311	1136.00	51.86 ic	1.01 ic	15.97 ic	---	0.00	0.00	---	---	---	---	16.98
6.10	226,005	1136.10	51.86 ic	1.02 ic	16.26 ic	---	0.00	0.00	---	---	---	---	17.28
6.20	233,698	1136.20	51.86 ic	1.03 ic	16.54 ic	---	0.00	0.00	---	---	---	---	17.57
6.30	241,392	1136.30	51.86 ic	1.04 ic	16.82 ic	---	0.00	0.00	---	---	---	---	17.86
6.40	249,085	1136.40	51.86 ic	1.05 ic	17.09 ic	---	0.00	0.00	---	---	---	---	18.14
6.50	256,779	1136.50	51.86 ic	1.06 ic	17.36 ic	---	0.00	0.00	---	---	---	---	18.42
6.60	264,472	1136.60	51.86 ic	1.06 ic	17.63 ic	---	0.00	0.00	---	---	---	---	18.69
6.70	272,166	1136.70	51.86 ic	1.07 ic	17.89 ic	---	0.00	0.00	---	---	---	---	18.96
6.80	279,859	1136.80	51.86 ic	1.08 ic	18.14 ic	---	0.00	0.00	---	---	---	---	19.22
6.90	287,553	1136.90	51.86 ic	1.09 ic	18.40 ic	---	0.00	0.00	---	---	---	---	19.49

Continues on next page...

DB-1

Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Civ A cfs	Civ B cfs	Civ C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
7.00	295,246	1137.00	51.86 ic	1.10 ic	18.65 ic	---	0.00	0.00	---	---	---	---	19.75
7.10	303,510	1137.10	51.86 ic	1.11 ic	18.90 ic	---	1.56	0.00	---	---	---	---	21.56
7.20	311,773	1137.20	51.86 ic	1.11 ic	19.14 ic	---	4.42	0.00	---	---	---	---	24.67
7.30	320,037	1137.30	51.86 ic	1.12 ic	19.38 ic	---	8.12	0.00	---	---	---	---	28.62
7.40	328,300	1137.40	51.86 ic	1.13 ic	19.62 ic	---	12.51	0.00	---	---	---	---	33.25
7.50	336,564	1137.50	51.86 ic	1.14 ic	19.85 ic	---	17.48	0.00	---	---	---	---	38.47
7.60	344,827	1137.60	51.86 ic	1.14 ic	20.08 ic	---	22.97	0.00	---	---	---	---	44.20
7.70	353,091	1137.70	51.86 ic	1.15 ic	20.31 ic	---	28.95	0.00	---	---	---	---	50.42
7.80	361,354	1137.80	57.18 ic	1.15 ic	20.54 ic	---	35.37	0.00	---	---	---	---	57.07
7.90	369,618	1137.90	64.10 ic	1.13 ic	20.77 ic	---	42.21	0.00	---	---	---	---	64.10
8.00	377,881	1138.00	71.54 ic	1.10 ic	20.99 ic	---	49.45	0.00	---	---	---	---	71.54
8.10	386,720	1138.10	79.32 ic	1.06 ic	21.21 ic	---	57.05	0.00	---	---	---	---	79.32
8.20	395,558	1138.20	87.45 ic	1.02 ic	21.43 ic	---	65.00	0.00	---	---	---	---	87.44
8.30	404,397	1138.30	95.90 ic	0.96 ic	21.64 ic	---	73.29	0.00	---	---	---	---	95.90
8.40	413,235	1138.40	103.58 ic	0.91 ic	20.76 ic	---	81.91	0.00	---	---	---	---	103.58
8.50	422,074	1138.50	110.96 ic	0.84 ic	19.29 ic	---	90.84	0.00	---	---	---	---	110.96
8.60	430,912	1138.60	118.38 ic	0.77 ic	17.54 ic	---	100.07	0.00	---	---	---	---	118.38
8.70	439,751	1138.70	125.74 ic	0.67 ic	15.47 ic	---	109.59	0.00	---	---	---	---	125.74
8.80	448,589	1138.80	132.93 ic	0.57 ic	12.97 ic	---	119.40	0.00	---	---	---	---	132.93
8.90	457,428	1138.90	136.38 ic	0.51 ic	11.72 ic	---	124.15 s	0.00	---	---	---	---	136.38
9.00	466,266	1139.00	138.73 ic	0.48 ic	10.89 ic	---	127.36 s	0.00	---	---	---	---	138.72
9.10	475,685	1139.10	140.68 ic	0.45 ic	10.22 ic	---	130.01 s	0.82	---	---	---	---	141.50
9.20	485,103	1139.20	142.39 ic	0.42 ic	9.63 ic	---	132.33 s	2.32	---	---	---	---	144.71
9.30	494,522	1139.30	143.92 ic	0.40 ic	9.12 ic	---	134.40 s	4.27	---	---	---	---	148.18
9.40	503,940	1139.40	145.32 ic	0.38 ic	8.65 ic	---	136.28 s	6.58	---	---	---	---	151.89
9.50	513,359	1139.50	146.61 ic	0.36 ic	8.24 ic	---	138.01 s	9.19	---	---	---	---	155.80
9.60	522,777	1139.60	147.82 ic	0.34 ic	7.86 ic	---	139.62 s	12.08	---	---	---	---	159.89
9.70	532,196	1139.70	148.96 ic	0.33 ic	7.51 ic	---	141.12 s	15.22	---	---	---	---	164.18
9.80	541,614	1139.80	150.04 ic	0.31 ic	7.19 ic	---	142.53 s	18.60	---	---	---	---	168.63
9.90	551,033	1139.90	151.07 ic	0.30 ic	6.90 ic	---	143.87 s	22.19	---	---	---	---	173.26
10.00	560,451	1140.00	152.06 ic	0.29 ic	6.62 ic	---	145.15 s	26.00	---	---	---	---	178.06

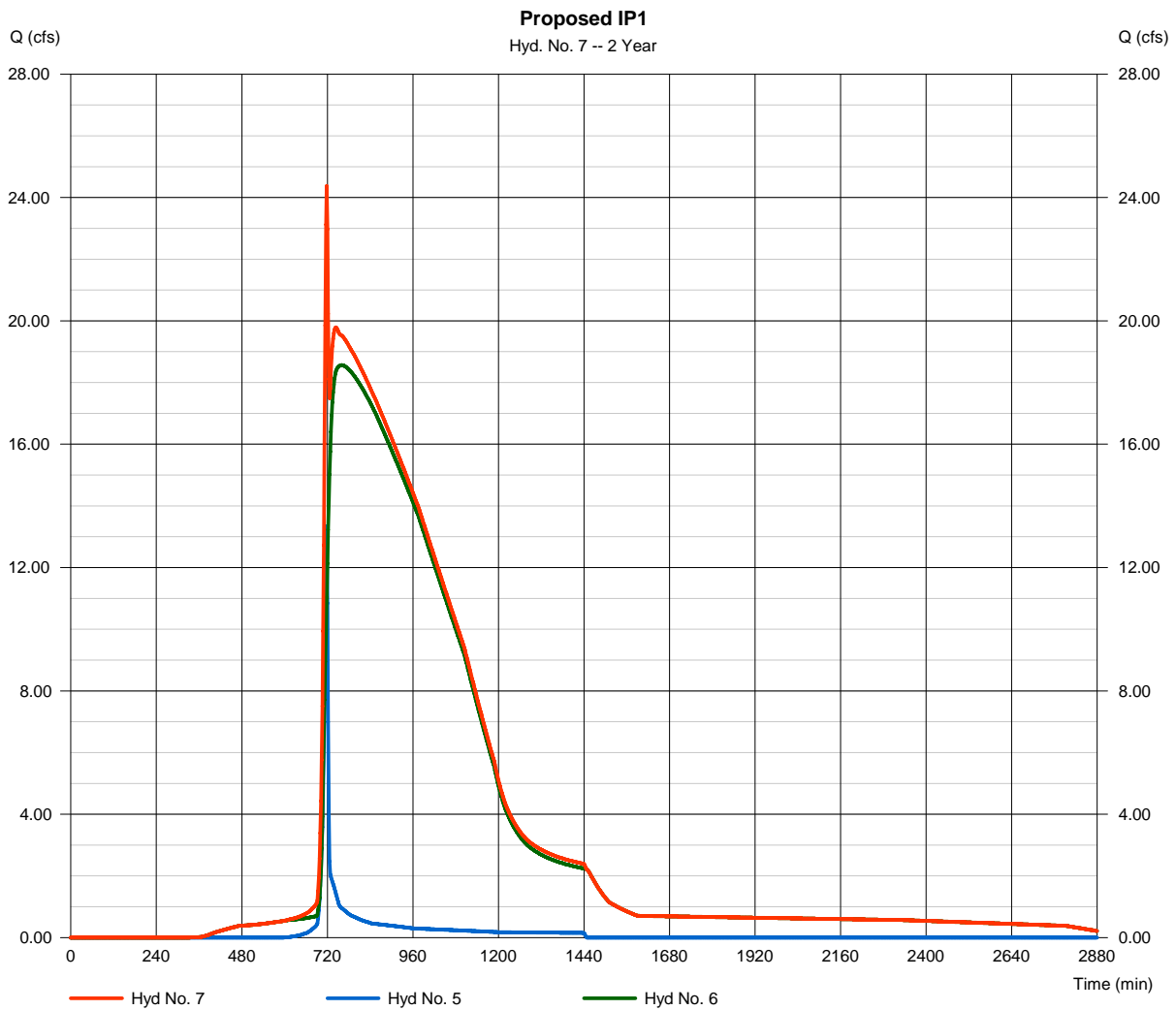
...End

Hydrograph Report

Hyd. No. 7

Proposed IP1

Hydrograph type	= Combine	Peak discharge	= 24.37 cfs
Storm frequency	= 2 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 524,699 cuft
Inflow hyds.	= 5, 6	Contrib. drain. area	= 6.600 ac



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

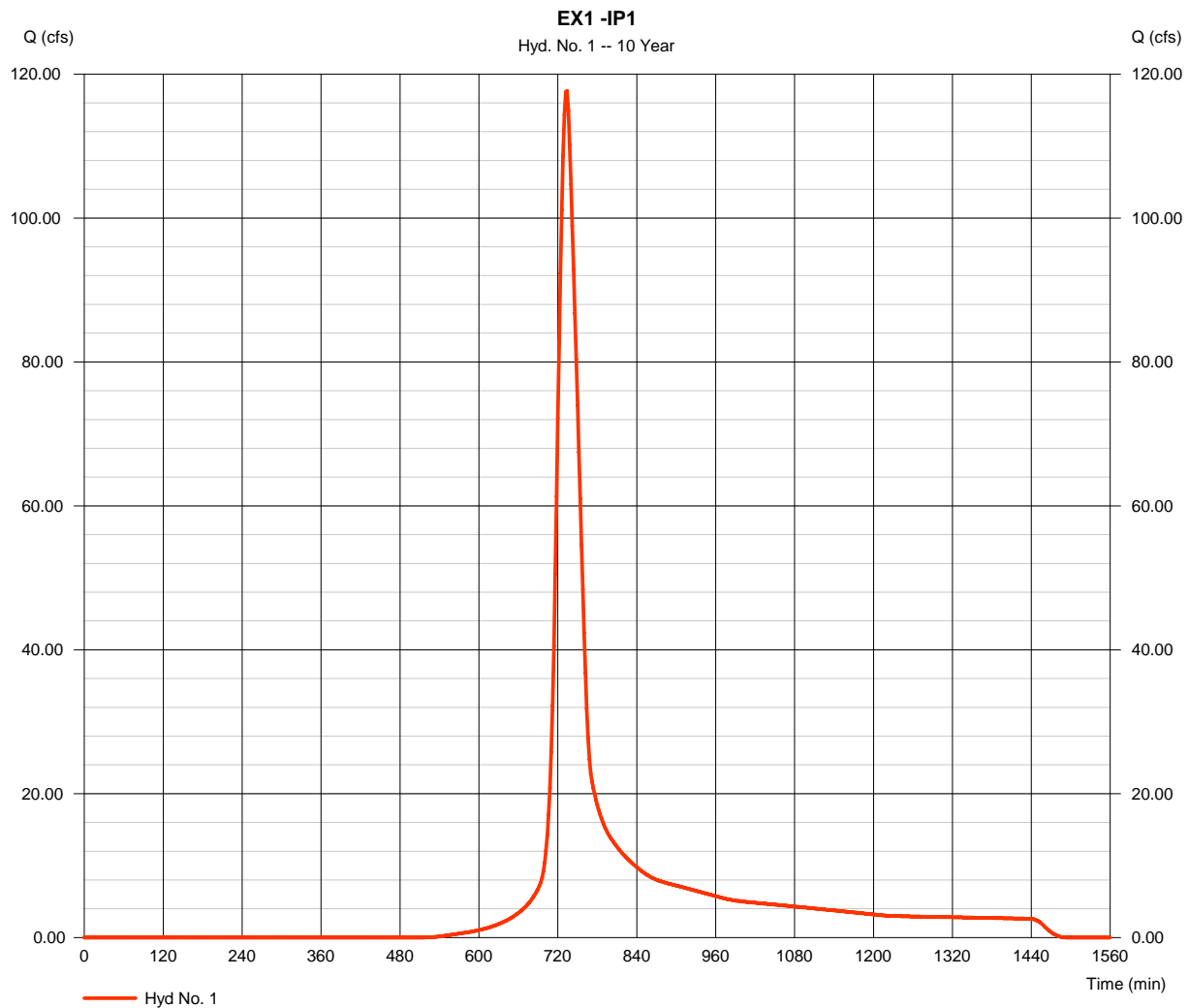
Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	117.69	2	734	512,195	-----	-----	-----	EX1 - IP1	
2	SCS Runoff	26.78	2	720	69,500	-----	-----	-----	EX2 - IP2	
3	SCS Runoff	15.45	2	716	31,201	-----	-----	-----	EX3 - IP3	
4	SCS Runoff	267.12	2	724	864,331	-----	-----	-----	A1	
5	SCS Runoff	27.30	2	716	55,267	-----	-----	-----	A2	
6	Reservoir	93.07	2	740	864,317	4	1138.27	401,443	DB-1	
7	Combine	96.09	2	740	919,583	5, 6	-----	-----	Proposed IP1	
2439-101 - Hydroflow - PCSMP.gpw					Return Period: 10 Year			Thursday, 03 / 5 / 2026		

Hydrograph Report

Hyd. No. 1

EX1 -IP1

Hydrograph type	= SCS Runoff	Peak discharge	= 117.69 cfs
Storm frequency	= 10 yrs	Time to peak	= 734 min
Time interval	= 2 min	Hyd. volume	= 512,195 cuft
Drainage area	= 60.800 ac	Curve number	= 77
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 33.10 min
Total precip.	= 4.60 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

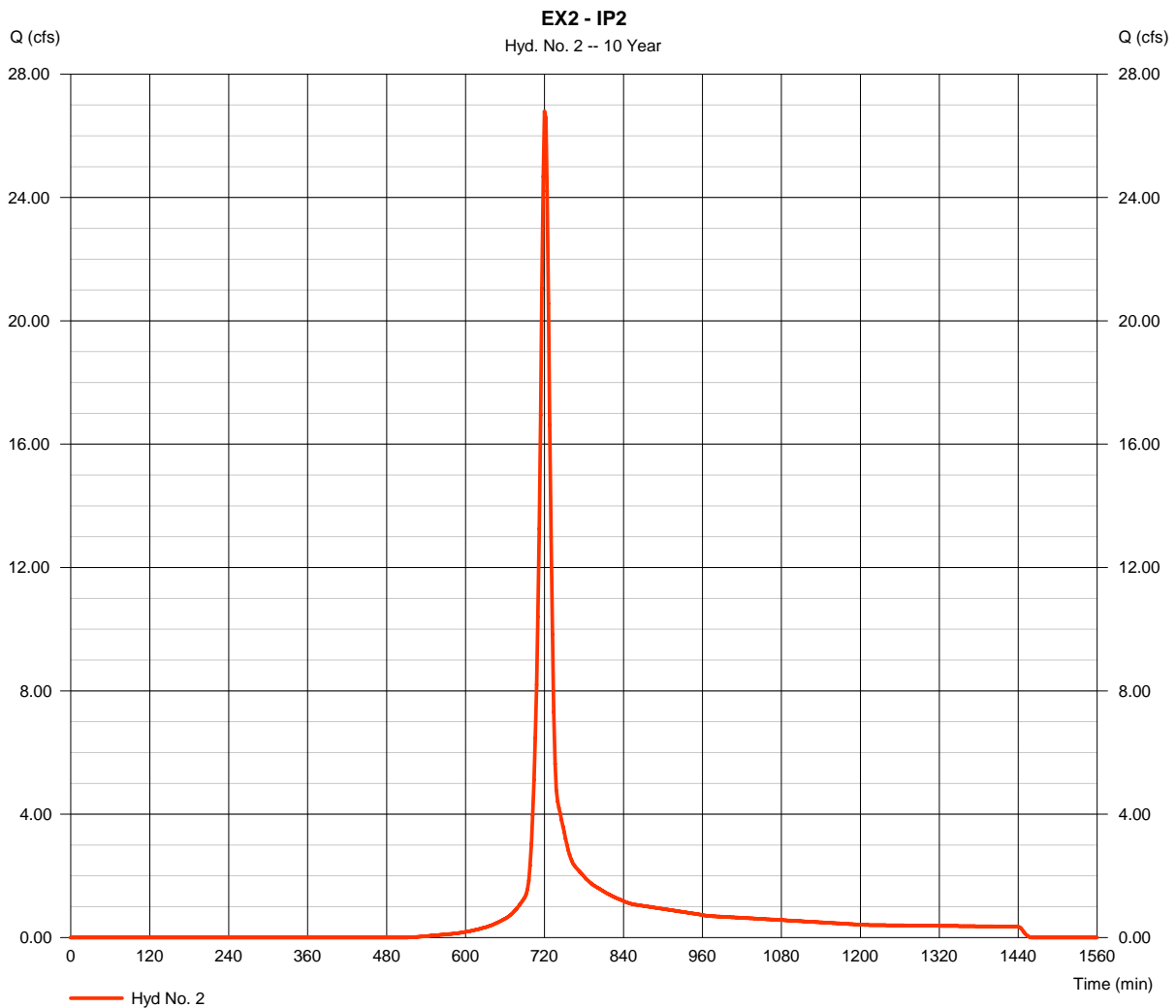


Hydrograph Report

Hyd. No. 2

EX2 - IP2

Hydrograph type	= SCS Runoff	Peak discharge	= 26.78 cfs
Storm frequency	= 10 yrs	Time to peak	= 720 min
Time interval	= 2 min	Hyd. volume	= 69,500 cuft
Drainage area	= 8.100 ac	Curve number	= 77
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 10.00 min
Total precip.	= 4.60 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

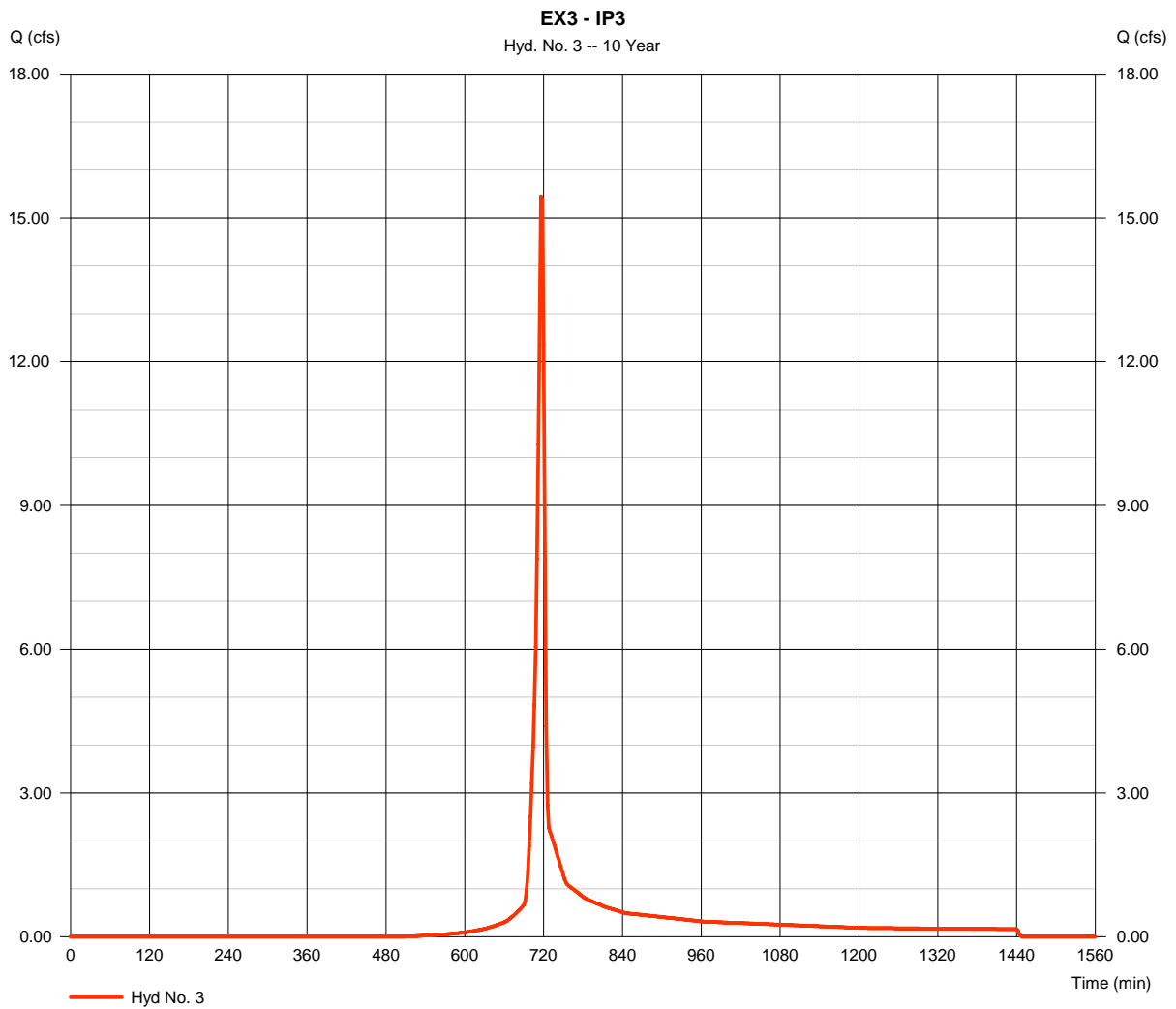


Hydrograph Report

Hyd. No. 3

EX3 - IP3

Hydrograph type	= SCS Runoff	Peak discharge	= 15.45 cfs
Storm frequency	= 10 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 31,201 cuft
Drainage area	= 4.000 ac	Curve number	= 77
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 4.60 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

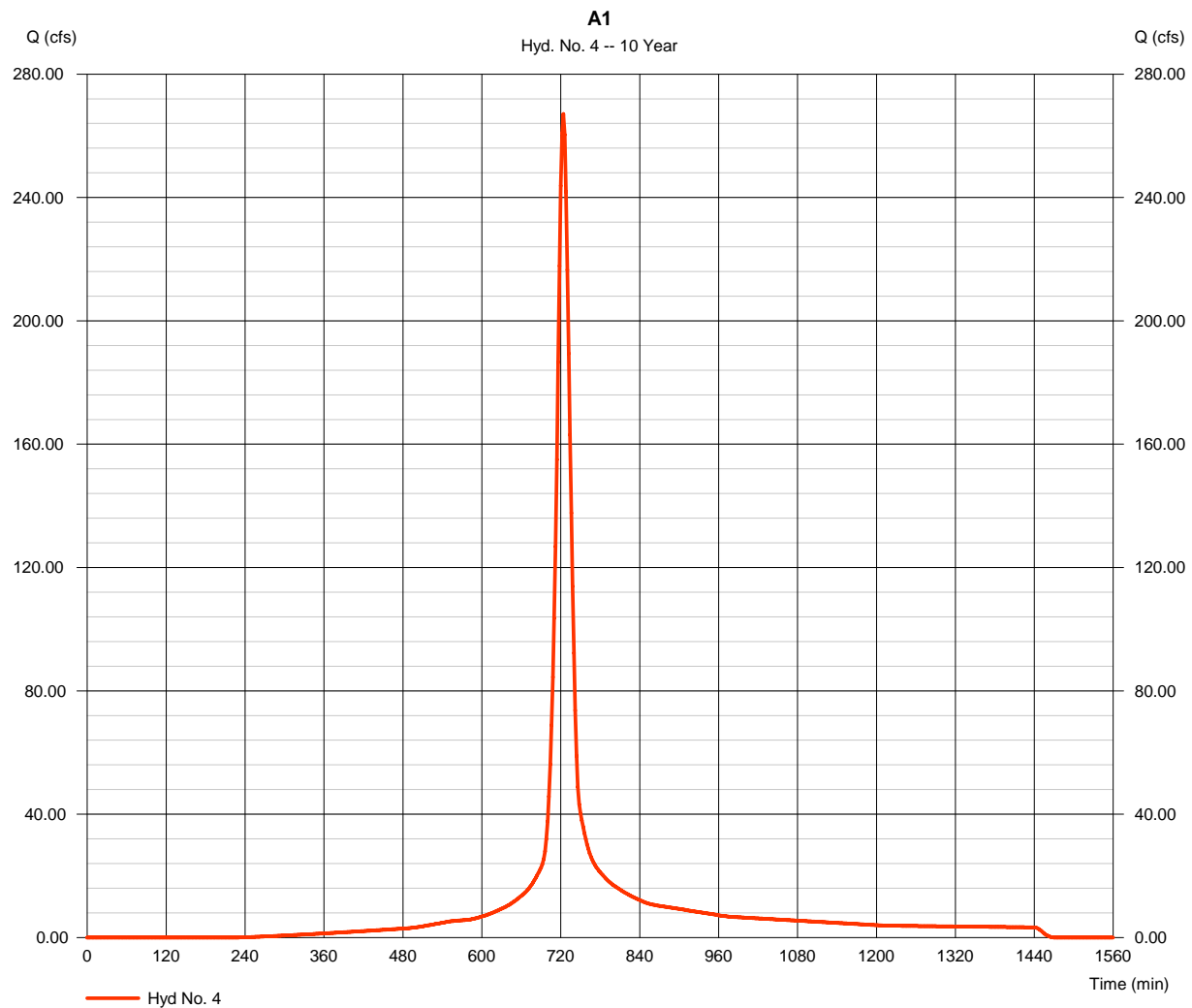


Hydrograph Report

Hyd. No. 4

A1

Hydrograph type	= SCS Runoff	Peak discharge	= 267.12 cfs
Storm frequency	= 10 yrs	Time to peak	= 724 min
Time interval	= 2 min	Hyd. volume	= 864,331 cuft
Drainage area	= 66.240 ac	Curve number	= 91
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 19.90 min
Total precip.	= 4.60 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

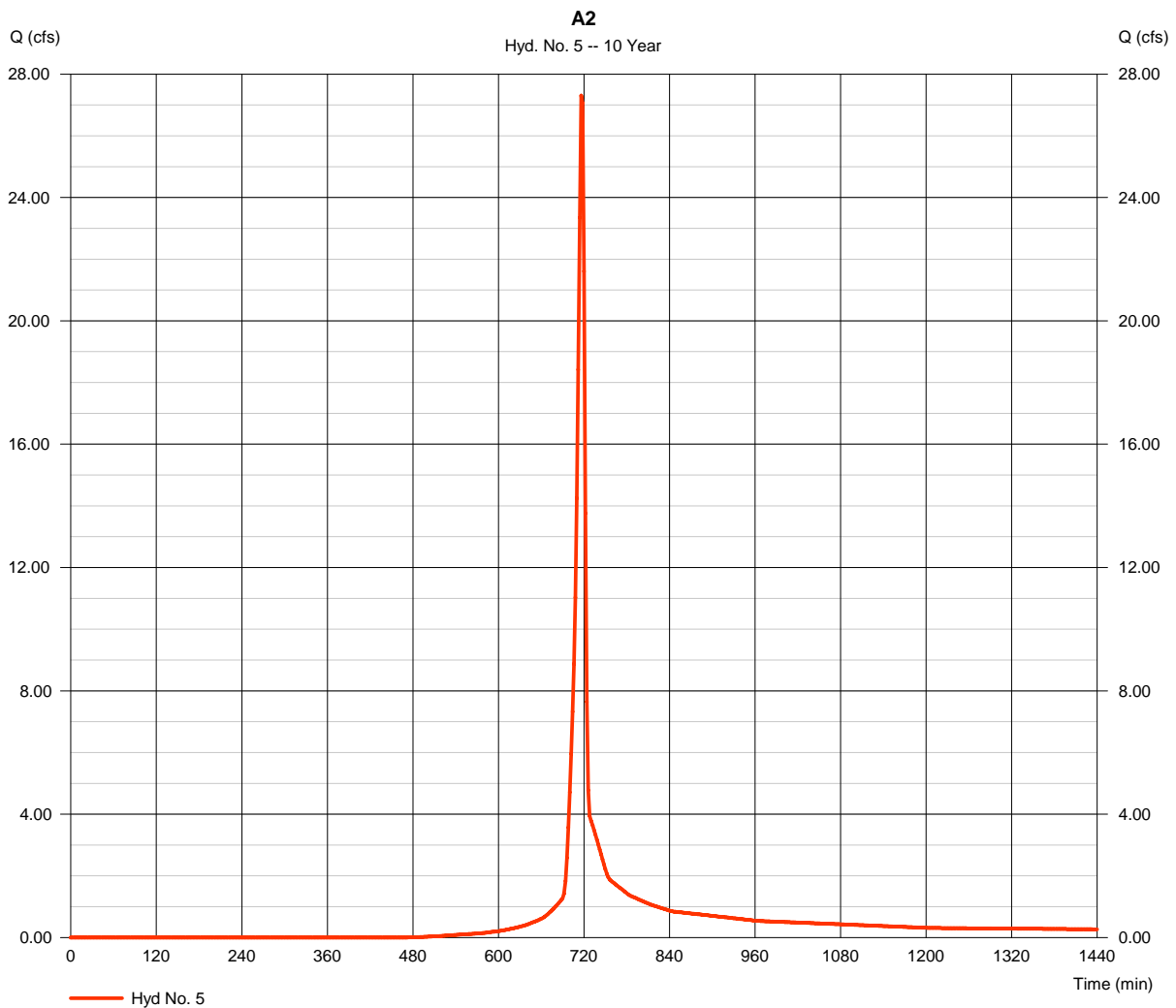


Hydrograph Report

Hyd. No. 5

A2

Hydrograph type	= SCS Runoff	Peak discharge	= 27.30 cfs
Storm frequency	= 10 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 55,267 cuft
Drainage area	= 6.600 ac	Curve number	= 79
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 4.60 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484



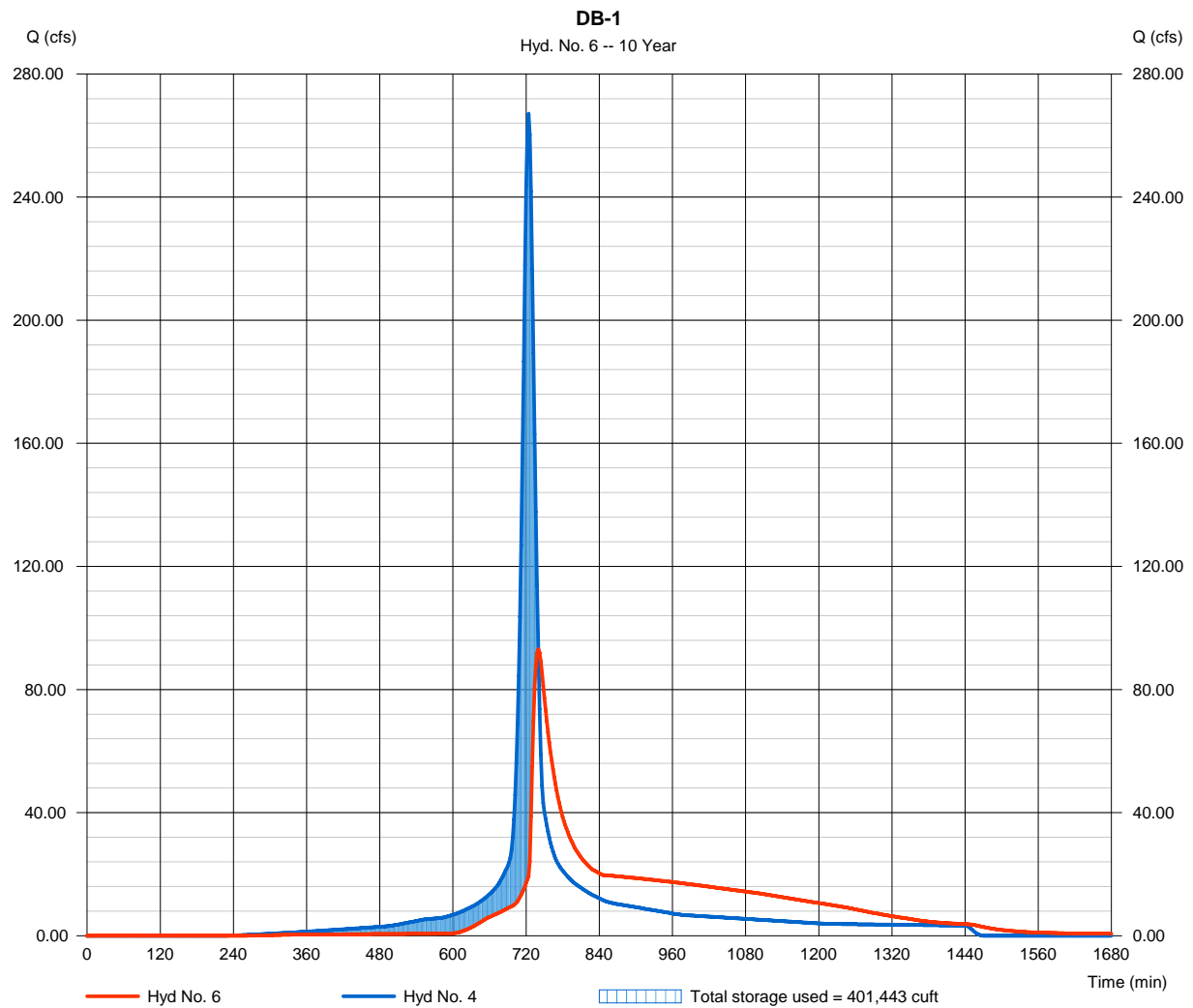
Hydrograph Report

Hyd. No. 6

DB-1

Hydrograph type	= Reservoir	Peak discharge	= 93.07 cfs
Storm frequency	= 10 yrs	Time to peak	= 740 min
Time interval	= 2 min	Hyd. volume	= 864,317 cuft
Inflow hyd. No.	= 4 - A1	Max. Elevation	= 1138.27 ft
Reservoir name	= DB-1	Max. Storage	= 401,443 cuft

Storage Indication method used.

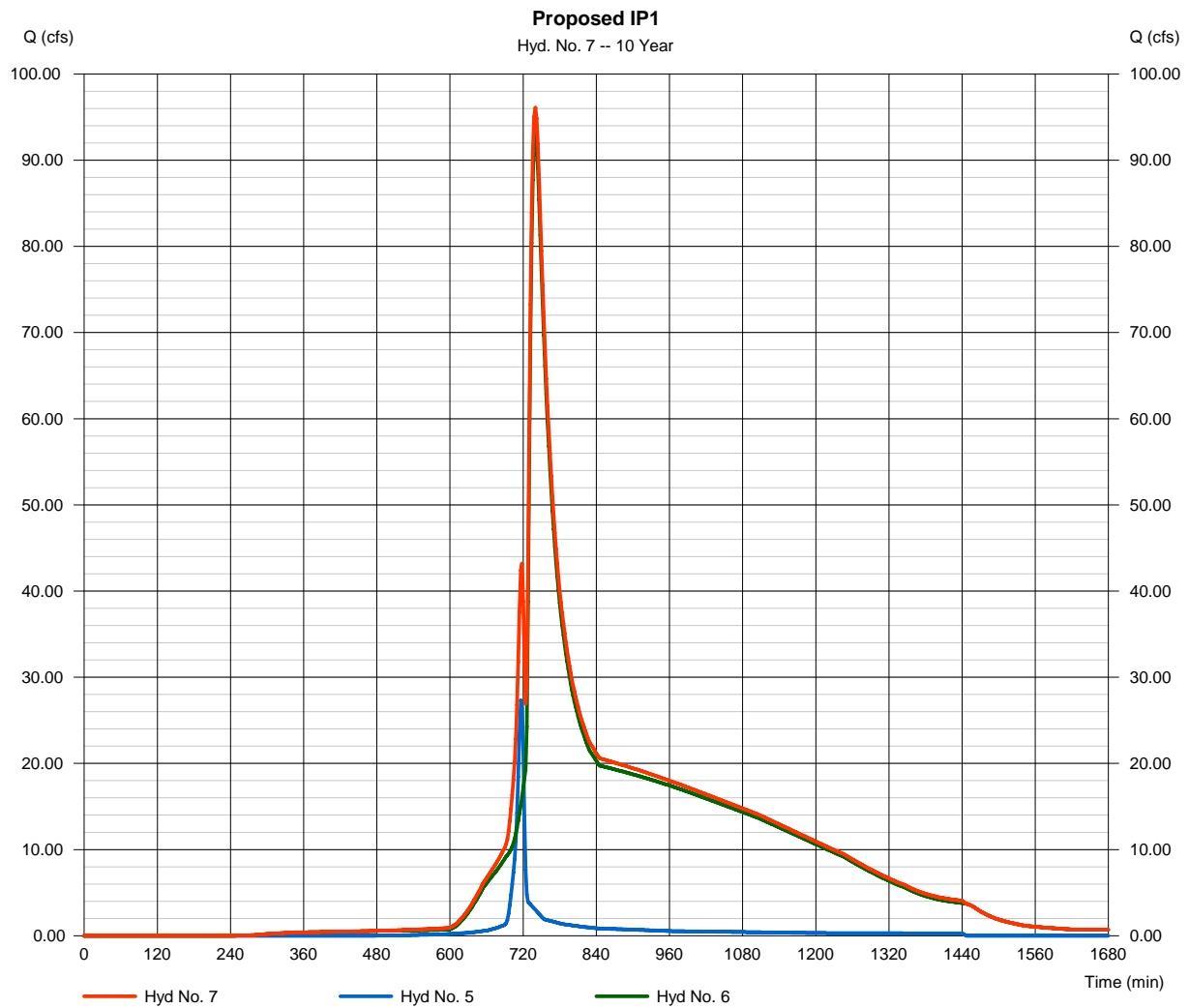


Hydrograph Report

Hyd. No. 7

Proposed IP1

Hydrograph type	= Combine	Peak discharge	= 96.09 cfs
Storm frequency	= 10 yrs	Time to peak	= 740 min
Time interval	= 2 min	Hyd. volume	= 919,583 cuft
Inflow hyds.	= 5, 6	Contrib. drain. area	= 6.600 ac



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

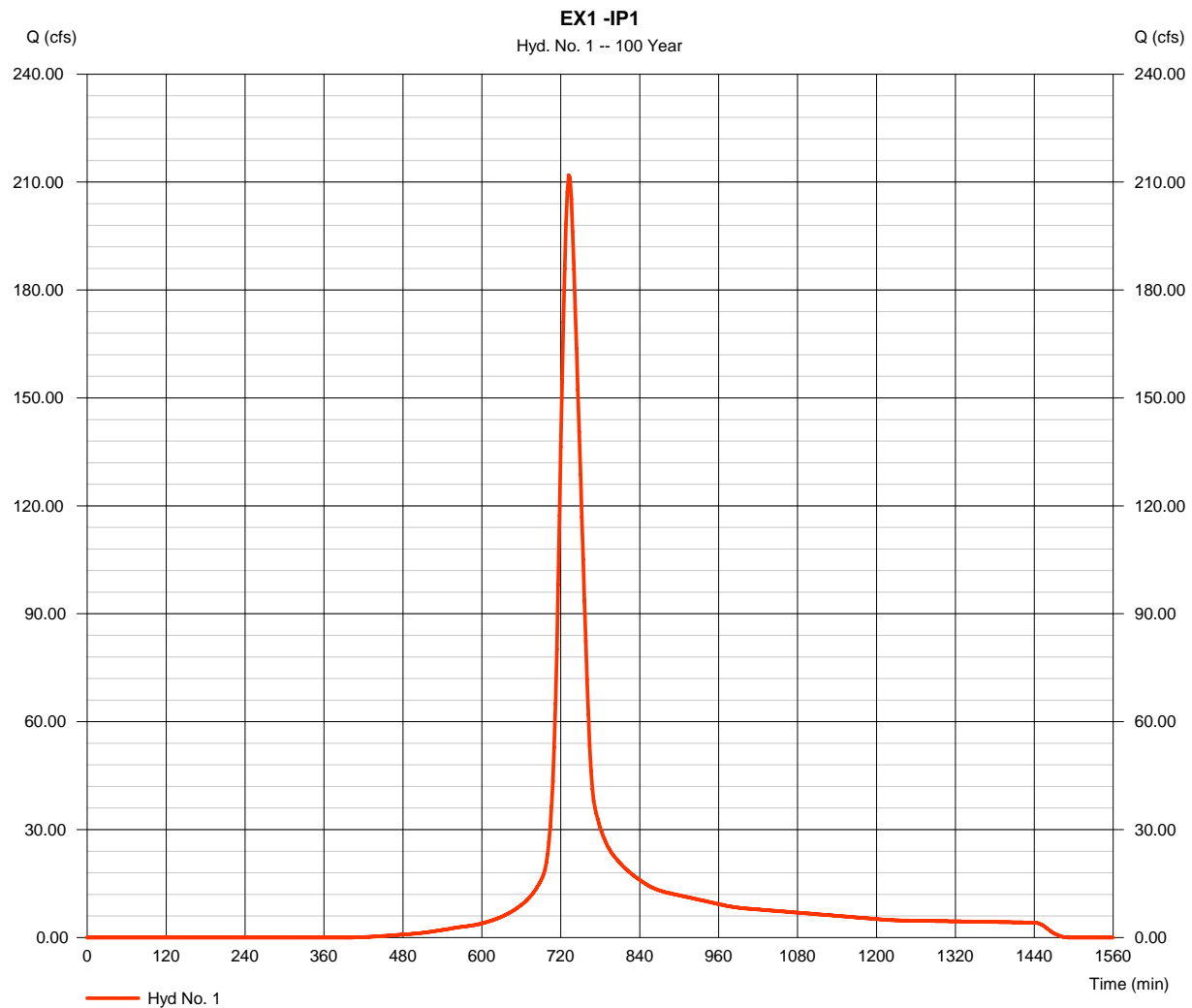
Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	211.93	2	732	915,565	-----	-----	-----	EX1 - IP1	
2	SCS Runoff	47.72	2	720	124,234	-----	-----	-----	EX2 - IP2	
3	SCS Runoff	27.27	2	716	55,773	-----	-----	-----	EX3 - IP3	
4	SCS Runoff	409.51	2	724	1,357,048	-----	-----	-----	A1	
5	SCS Runoff	47.04	2	716	96,821	-----	-----	-----	A2	
6	Reservoir	174.56	2	738	1,357,033	4	1139.93	553,581	DB-1	
7	Combine	179.76	2	738	1,453,853	5, 6	-----	-----	Proposed IP1	
2439-101 - Hydroflow - PCSMP.gpw					Return Period: 100 Year			Thursday, 03 / 5 / 2026		

Hydrograph Report

Hyd. No. 1

EX1 -IP1

Hydrograph type	= SCS Runoff	Peak discharge	= 211.93 cfs
Storm frequency	= 100 yrs	Time to peak	= 732 min
Time interval	= 2 min	Hyd. volume	= 915,565 cuft
Drainage area	= 60.800 ac	Curve number	= 77
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 33.10 min
Total precip.	= 6.70 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

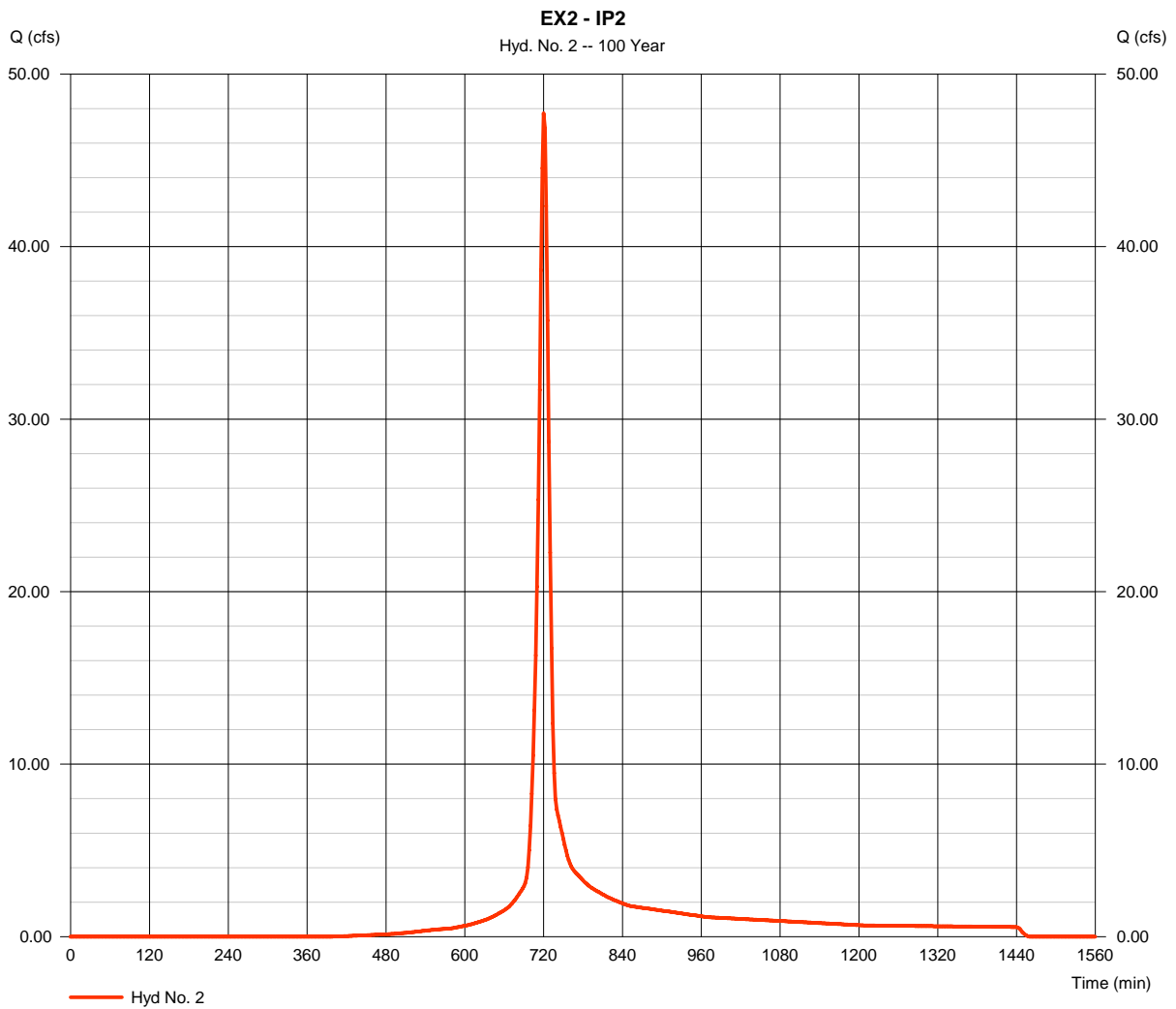


Hydrograph Report

Hyd. No. 2

EX2 - IP2

Hydrograph type	= SCS Runoff	Peak discharge	= 47.72 cfs
Storm frequency	= 100 yrs	Time to peak	= 720 min
Time interval	= 2 min	Hyd. volume	= 124,234 cuft
Drainage area	= 8.100 ac	Curve number	= 77
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 10.00 min
Total precip.	= 6.70 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

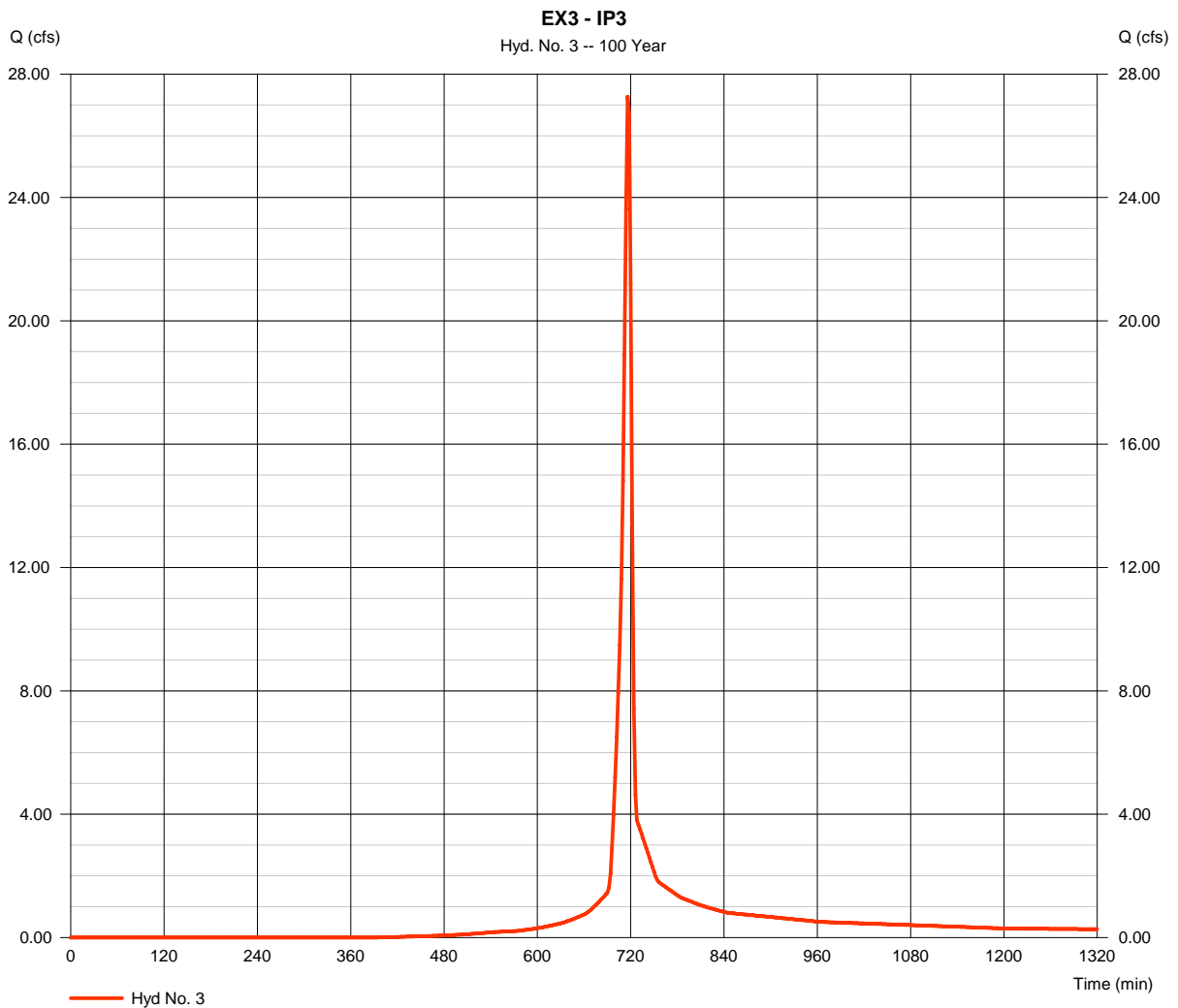


Hydrograph Report

Hyd. No. 3

EX3 - IP3

Hydrograph type	= SCS Runoff	Peak discharge	= 27.27 cfs
Storm frequency	= 100 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 55,773 cuft
Drainage area	= 4.000 ac	Curve number	= 77
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 6.70 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

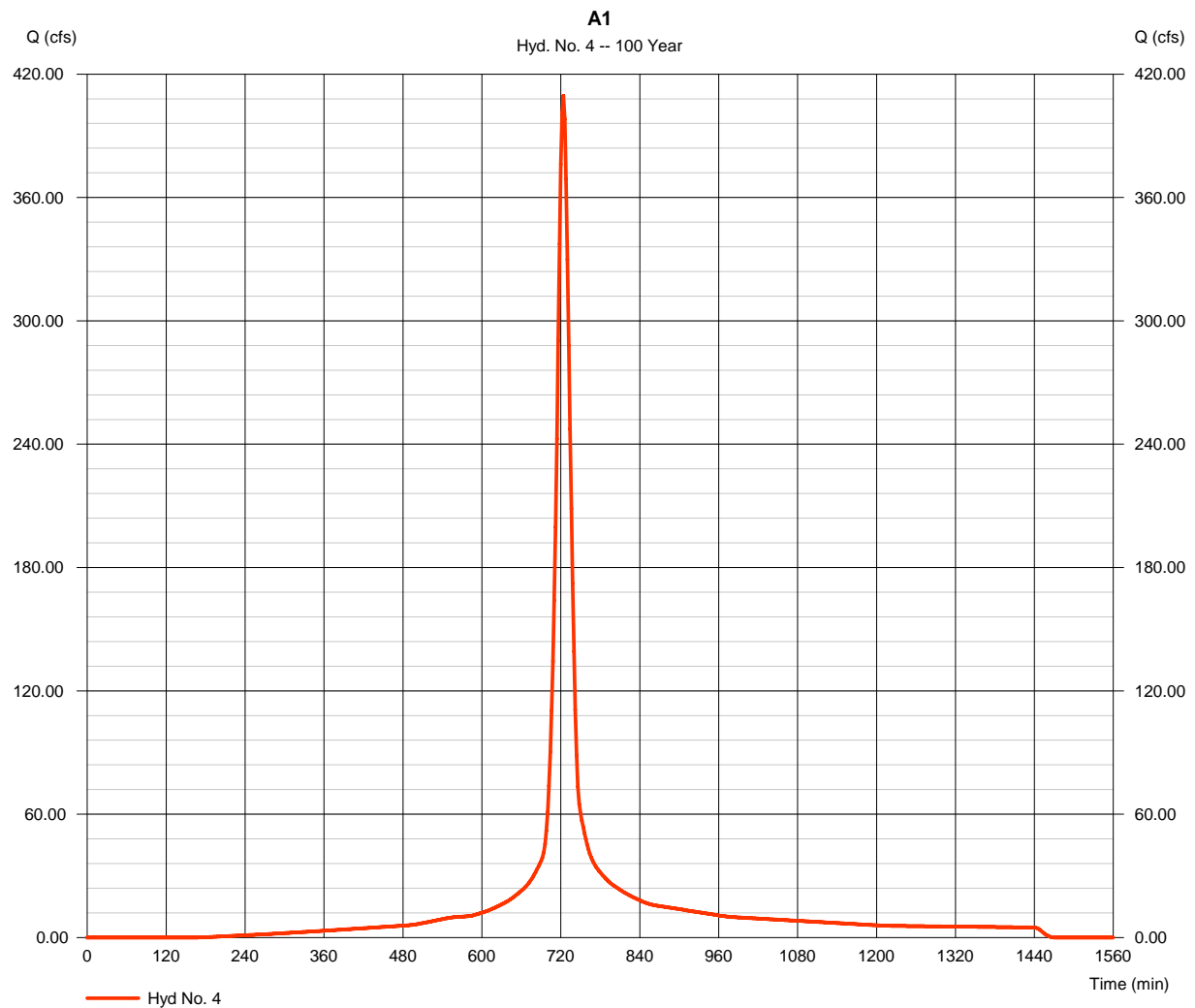


Hydrograph Report

Hyd. No. 4

A1

Hydrograph type	= SCS Runoff	Peak discharge	= 409.51 cfs
Storm frequency	= 100 yrs	Time to peak	= 724 min
Time interval	= 2 min	Hyd. volume	= 1,357,048 cuft
Drainage area	= 66.240 ac	Curve number	= 91
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 19.90 min
Total precip.	= 6.70 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

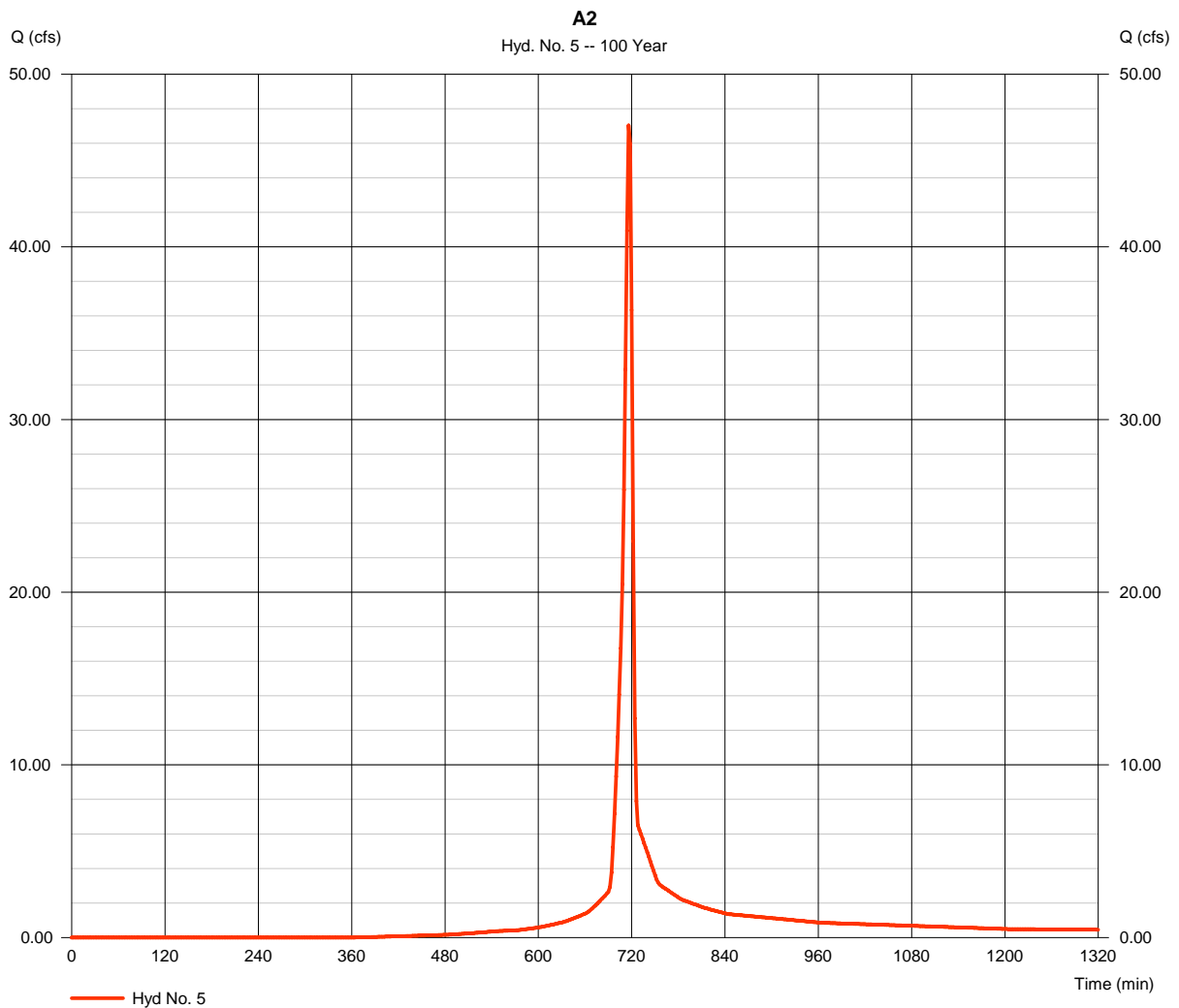


Hydrograph Report

Hyd. No. 5

A2

Hydrograph type	= SCS Runoff	Peak discharge	= 47.04 cfs
Storm frequency	= 100 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 96,821 cuft
Drainage area	= 6.600 ac	Curve number	= 79
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 6.70 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

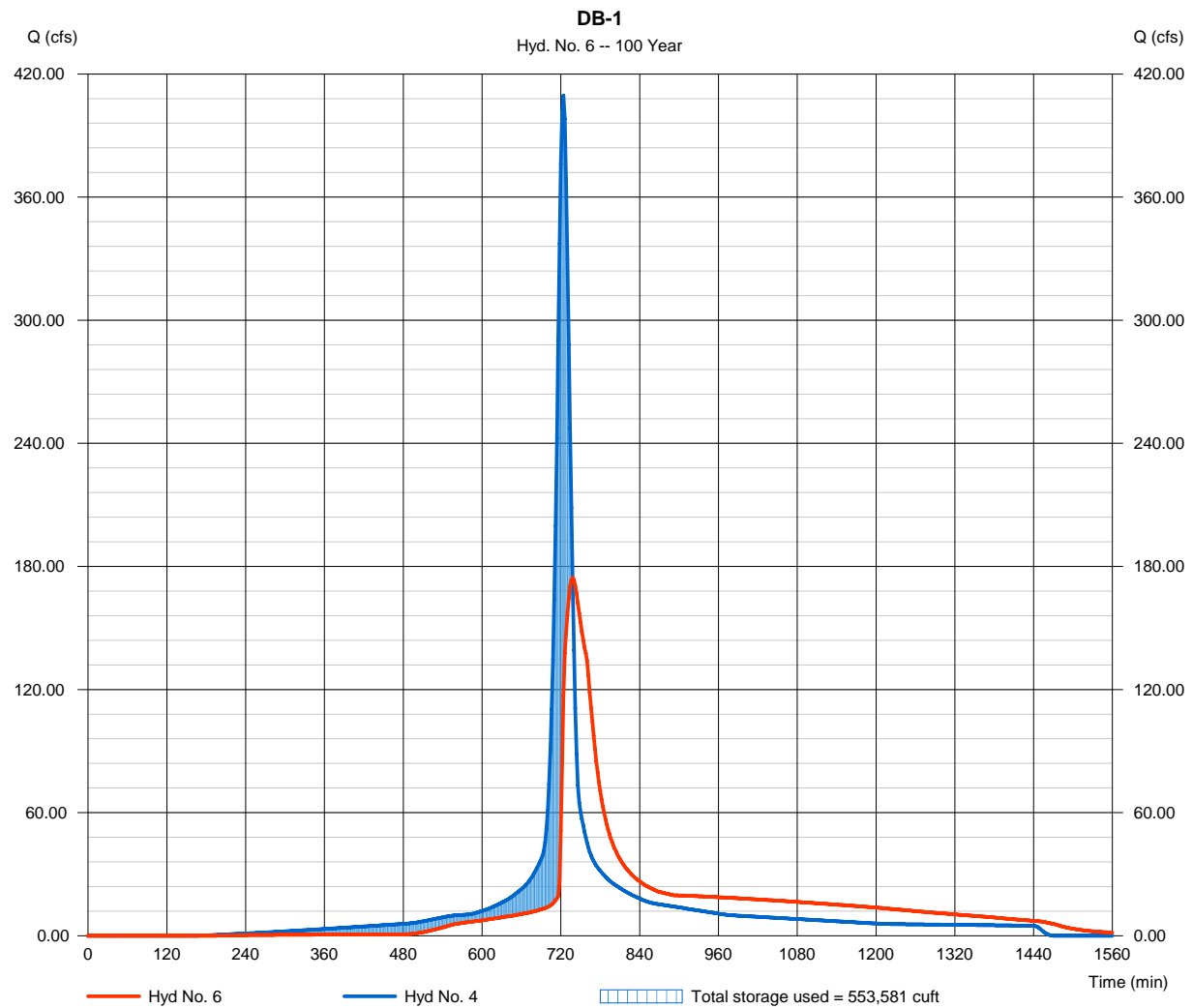
Thursday, 03 / 5 / 2026

Hyd. No. 6

DB-1

Hydrograph type	= Reservoir	Peak discharge	= 174.56 cfs
Storm frequency	= 100 yrs	Time to peak	= 738 min
Time interval	= 2 min	Hyd. volume	= 1,357,033 cuft
Inflow hyd. No.	= 4 - A1	Max. Elevation	= 1139.93 ft
Reservoir name	= DB-1	Max. Storage	= 553,581 cuft

Storage Indication method used.

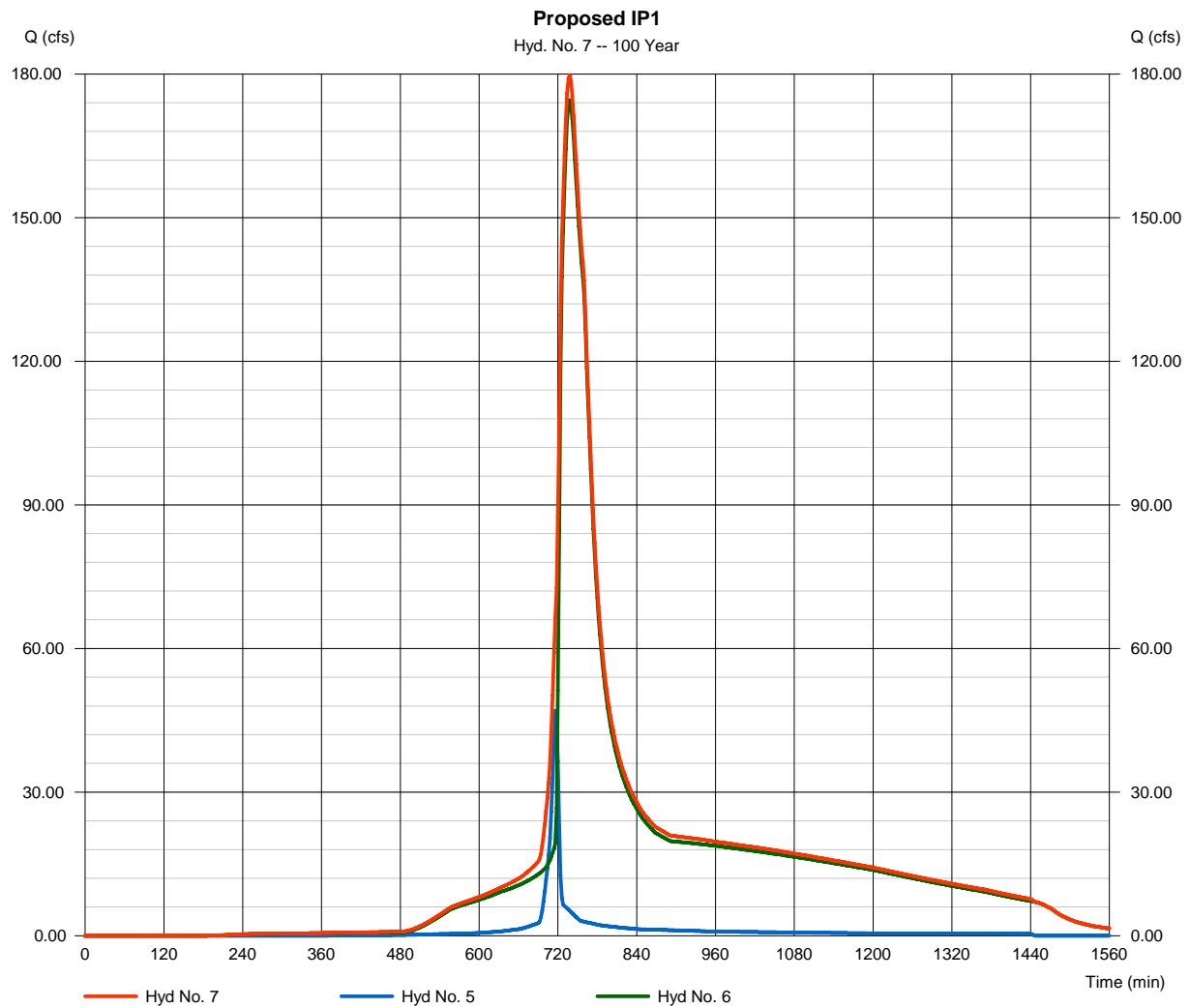


Hydrograph Report

Hyd. No. 7

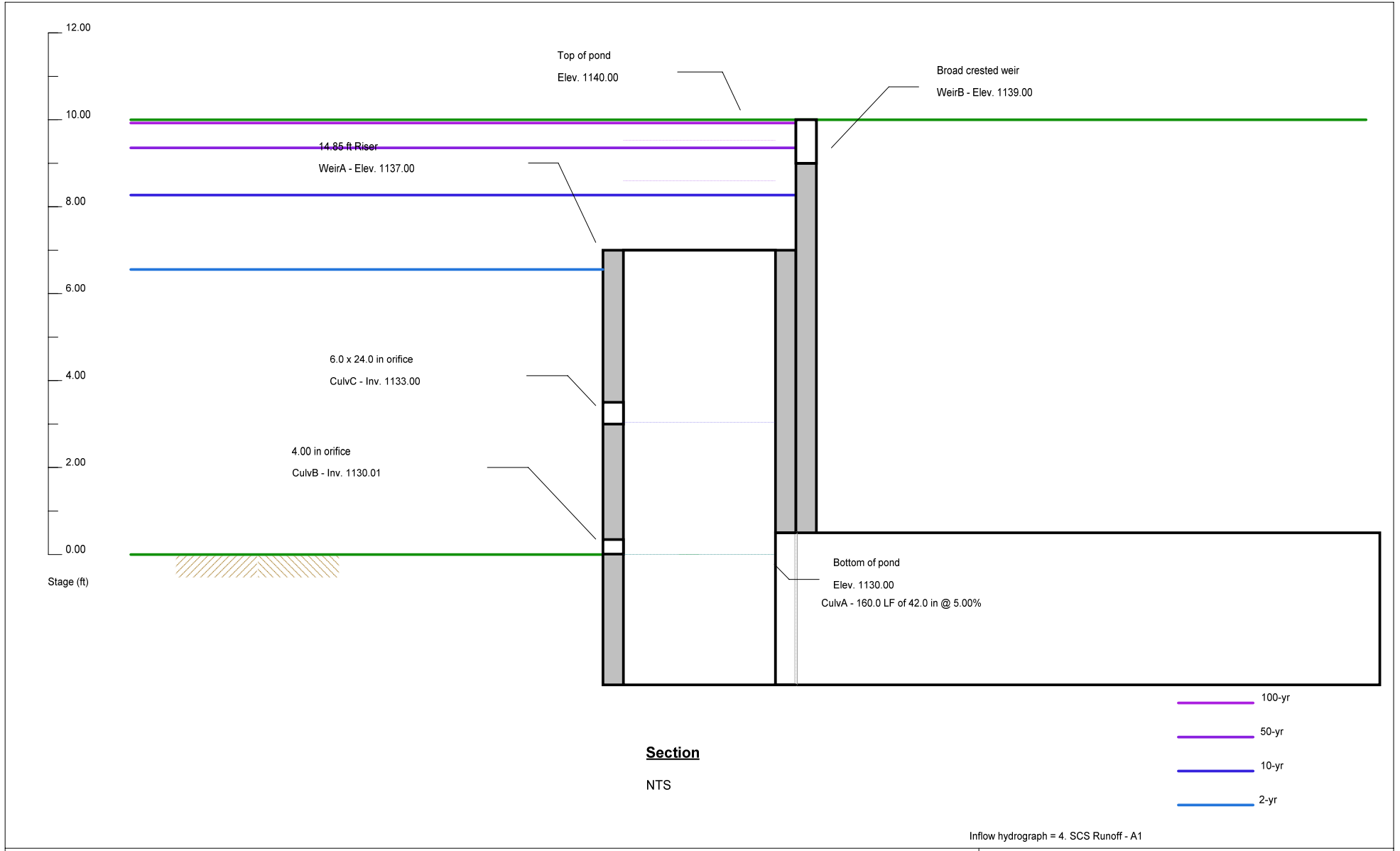
Proposed IP1

Hydrograph type	= Combine	Peak discharge	= 179.76 cfs
Storm frequency	= 100 yrs	Time to peak	= 738 min
Time interval	= 2 min	Hyd. volume	= 1,453,853 cuft
Inflow hyds.	= 5, 6	Contrib. drain. area	= 6.600 ac



- Watershed Model Schematic..... 1**
- Hydrograph Return Period Recap..... 2**
- 2 - Year**
 - Summary Report..... 3**
 - Hydrograph Reports..... 4**
 - Hydrograph No. 1, SCS Runoff, EX1 -IP1..... 4
 - TR-55 Tc Worksheet..... 5
 - Hydrograph No. 2, SCS Runoff, EX2 - IP2..... 6
 - Hydrograph No. 3, SCS Runoff, EX3 - IP3..... 7
 - Hydrograph No. 4, SCS Runoff, A1..... 8
 - TR-55 Tc Worksheet..... 9
 - Hydrograph No. 5, SCS Runoff, A2..... 10
 - Hydrograph No. 6, Reservoir, DB-1..... 11
 - Pond Report - DB-1..... 12
 - Hydrograph No. 7, Combine, Proposed IP1..... 14
- 10 - Year**
 - Summary Report..... 15**
 - Hydrograph Reports..... 16**
 - Hydrograph No. 1, SCS Runoff, EX1 -IP1..... 16
 - Hydrograph No. 2, SCS Runoff, EX2 - IP2..... 17
 - Hydrograph No. 3, SCS Runoff, EX3 - IP3..... 18
 - Hydrograph No. 4, SCS Runoff, A1..... 19
 - Hydrograph No. 5, SCS Runoff, A2..... 20
 - Hydrograph No. 6, Reservoir, DB-1..... 21
 - Hydrograph No. 7, Combine, Proposed IP1..... 22
- 100 - Year**
 - Summary Report..... 23**
 - Hydrograph Reports..... 24**
 - Hydrograph No. 1, SCS Runoff, EX1 -IP1..... 24
 - Hydrograph No. 2, SCS Runoff, EX2 - IP2..... 25
 - Hydrograph No. 3, SCS Runoff, EX3 - IP3..... 26
 - Hydrograph No. 4, SCS Runoff, A1..... 27
 - Hydrograph No. 5, SCS Runoff, A2..... 28
 - Hydrograph No. 6, Reservoir, DB-1..... 29
 - Hydrograph No. 7, Combine, Proposed IP1..... 30
- IDF Report..... 31**

Pond No. 1 - DB-1



Section
NTS

- 100-yr
- 50-yr
- 10-yr
- 2-yr

Inflow hydrograph = 4. SCS Runoff - A1

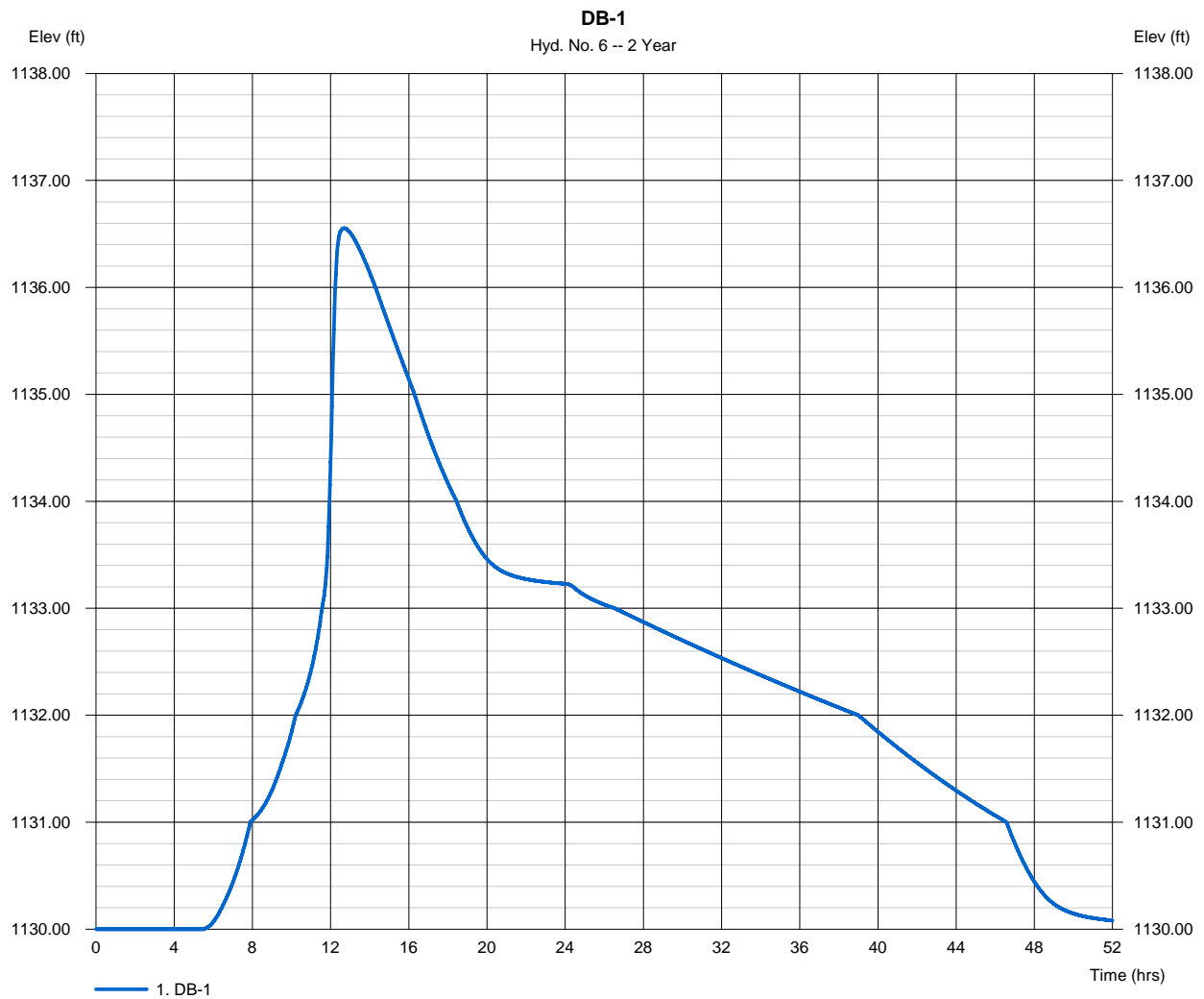
Hydrograph Report

Hyd. No. 6

DB-1

Hydrograph type	= Reservoir	Peak discharge	= 18.57 cfs
Storm frequency	= 2 yrs	Time to peak	= 12.67 hrs
Time interval	= 2 min	Hyd. volume	= 498,006 cuft
Inflow hyd. No.	= 4 - A1	Max. Elevation	= 1136.55 ft
Reservoir name	= DB-1	Max. Storage	= 260,950 cuft

Storage Indication method used.



HY-8 Energy Dissipation Results

External Energy Dissipator

Parameter	Value	Units
Select Culvert and Flow		
Crossing	Culvert	
Culvert	Culvert 1	
Flow	660.00	cfs
Culvert Data		
Culvert Width (including multiple barrels)	10.0	ft
Culvert Height	7.0	ft
Outlet Depth	4.03	ft
Outlet Velocity	16.39	ft/s
Froude Number	1.09	
Tailwater Depth	3.85	ft
Tailwater Velocity	5.57	ft/s
Tailwater Slope (S0)	0.0100	
External Dissipator Data		
External Dissipator Category	Streambed Level Structures	
External Dissipator Type	Riprap Basin	
Restrictions		
Froude Number	<3	
Input Data		
Condition to be used to Compute Basin Outlet Velocity	Best Fit Curve	
D50 of the Riprap Mixture		
Note:	Minimum HS/D50 = 2 is Obtained if D50 = 0.722 ft	
D50 of the Riprap Mixture	0.722	ft
DMax of the Riprap Mixture	1.250	ft
Results		
Brink Depth	4.027	ft
Brink Velocity	16.390	ft/s
Depth (YE)	4.027	ft
Riprap Thickness	1.875	ft
Riprap Foreslope	2.5000	ft
Check HS/D50		
Note:	OK if HS/D50 > 2.0	
HS/D50	2.015	
HS/D50 Check	HS/D50 is OK	
Check D50/YE		
Note:	OK if 0.1 < D50/YE < 0.7	

Check D50/YE	0.179	
D50/YE Check	D50/YE is OK	
Basin Length (LB)	40.000	ft
Basin Width	36.667	ft
Apron Length	10.000	ft
Pool Length	30.000	ft
Pool Depth (HS)	1.455	ft
TW/YE	0.956	
Tailwater Depth (TW)	3.850	ft
Average Velocity with TW	3.864	ft/s
Critical Depth (Yc)	2.076	ft
Average Velocity with Yc	7.788	ft/s
Downstream Riprap for High TW		
Distance: 1 LB		
Velocity	13.850	ft/s
Size	1.250	ft
Distance: 2 LB		
Velocity	8.910	ft/s
Size	0.518	ft
Distance: 3 LB		
Velocity	5.923	ft/s
Size	0.229	ft
Distance: 4 LB		
Velocity	4.433	ft/s
Size	0.128	ft

Name of Addition

Springfield Gateway Park - Phase 1

SID # **New**

Source and Use of Funds: (Provide a separate sheet for the preliminary plat and for each final plat phase.)

	Proposed Improvements		Construction Cost	Total Cost	General Obligation	Special Assessed	Financing Reimbursable	Private
	Quantity							
Storm Sewer								
Storm Sewer	2,600	LF	\$1,244,900	\$1,751,500	\$1,751,500			
Sanitary Sewer								
SCCWWA Sewer Fees	22.47	AC.	\$673,800	\$799,400	\$799,400 ⁴			
Outfall (With Easements)	2,000	LF	\$436,600	\$614,300	\$614,300		\$282,600 ³	
Interior	1,600	LF	\$187,700	\$264,100		\$264,100		
Paving								
Exterior (Capehart Rd)	-	SY						
Interior	5,842	SY	\$579,700	\$815,700	\$322,200	\$493,500		
Highway 50 Traffic Signal	1	LS	\$500,000	\$695,000	\$695,000		\$347,500 ⁵	
City Review Fee	1	LS	\$31,300	\$31,300	\$31,300			
Springfield ASIP Fee	1	LS	\$35,000	\$42,000	\$42,000			
ADA Ramps and SID Sidewalks	1	LS	\$3,200	\$4,500	\$4,500			
Water								
Interior	1	LS	\$621,100	\$873,900		\$873,900		
Pioneer Main Fee	1	LS	\$138,800	\$164,700	\$164,700			
Exterior								
Electricity	22.47	AC.	\$188,800	\$265,600		\$265,600		
Gas	1	LS	\$178,000	\$267,300	\$267,300 ⁶			
Total			\$4,818,900	\$6,589,300	\$4,692,200	\$1,897,100	\$630,100	

¹ Total cost includes engineering fees and administrative fees

² Attach a statement of assumptions as basis for preliminary projections.

³ Outfall services 138 acres and proposed project uses 75 acres of service; therefore, 46% of outfall shall be reimbursed by future connections to outfall built by Springfield Gateway Park.

⁴ 100% of SCCWWA Sewer Fees shall be paid by the SID as a General Obligation expense.

⁵ 50% of Highway 50 Traffic Signal at Gateway Drive to be reimbursible by property adjacent to the east of Springfield Gateway Park upon development

⁶ Includes approx. 9,200 LF of exterior gas main construction

G.O. Debt Less GO Reimbursements
Valuation
Debt Ratio

\$ 4,062,100
\$ 28,500,000
14.25%

Date

March 9, 2026

PRELIMINARY COST ESTIMATE - Phase 1
 Springfield Gateway Park
 TD2 NO: 2439-101
 DATE: 03/09/2026
 SID: New

ITEM OF WORK	UNIT	QUANTITY	UNIT PRICE	AMOUNT
SANITARY SEWER				
6-inch Stub San. Swr. w/ Crushed Rock Bedding	LF	0	\$60.00	\$0.00
8-inch Main Line San. Swr. w/ Crushed Rock Bedding	LF	1600	\$60.00	\$96,000.00
Directional Bore 8" PVC	LF	0	\$160.00	\$0.00
18-inch O.D. Welded Steel Casing	LF	0	\$150.00	\$0.00
Bore and Jack 18-inch O.D. Welded Steel Casing	LF	0	\$600.00	\$0.00
Wyes or Slants	EA	3	\$250.00	\$750.00
54" I.D. Sanitary Sewer Manhole	VF	90	\$700.00	\$63,000.00
Standard Ring & Cover	EA	7	\$1,200.00	\$8,400.00
Tap Existing Manhole/Stub	EA	0	\$2,000.00	\$0.00
Crushed Rock, Unstable Trench	TON	100	\$100.00	\$10,000.00
Geotextile Fabric, Unstable Trench	SY	100	\$6.00	\$600.00
Lift Station w/ Backup Generator	LS	0	\$400,000.00	\$0.00
4" PVC DR 14 Force Main w/ Tracer Wire	LF	0	\$38.00	\$0.00
Subtotal (5% Contingency)				\$187,687.50
Engineering Fees, 21%				\$39,414.38
Legal Fees, 5%				\$9,384.38
Warrant Interest, 1 Yrs. @ 8%				\$15,015.00
Subtotal				\$251,501.25
Warrant Fee, 5%				\$12,575.06
Total				\$264,076.31
SANITARY SEWER OUTFALL				
Mobilization	LS	1.00	\$25,000.00	\$25,000.00
Directional Bore PVC Siphon (10")	LF	0	\$150.00	\$0.00
8-inch San. Swr. w/ Crushed Rock Bedding	LF	2000	\$60.00	\$120,000.00
15-inch San. Swr. w/ Crushed Rock Bedding	LF	0	\$110.00	\$0.00
Bore and Jack 18-inch O.D. Welded Steel Casing	LF	0	\$650.00	\$0.00
54" I.D. Sanitary Sewer Manhole	VF	80	\$700.00	\$56,000.00
Standard Ring & Cover	EA	6	\$1,200.00	\$7,200.00
Tap Existing Manhole/Stub	EA	1	\$5,000.00	\$5,000.00
Dewatering, If Necessary	LS	1	\$20,000.00	\$20,000.00
Crushed Rock, Unstable Trench	TON	100	\$100.00	\$10,000.00
Geotextile Fabric, Unstable Trench	SY	100	\$6.00	\$600.00
Seeding/Matting	SY	15000	\$2.00	\$30,000.00
Geotech Report	LS	1	\$20,000.00	\$20,000.00
Topographic Survey	LS	1	\$20,000.00	\$20,000.00
Permanent Easement	ACRE	1.40	\$50,000.00	\$70,000.00
Temporary Easement	ACRE	3.20	\$10,000.00	\$32,000.00
Subtotal (5% Contingency)				\$436,590.00
Engineering Fees, 21%				\$91,683.90
Legal Fees, 5%				\$21,829.50
Warrant Interest, 1 Yrs. @ 8%				\$34,927.20
Subtotal				\$585,030.60
Warrant Fee, 5%				\$29,251.53
Total				\$614,282.13

PAVEMENT, MINOR (SPECIAL ASSESS)

Mobilizaton	LS	1	\$25,000.00	\$25,000.00
7-inch PCC Pavement	SY	0	\$55.00	\$0.00
9-inch PCC Pavement	SY	3660	\$80.00	\$292,800.00
Common Excavation	CY	1470	\$10.00	\$14,700.00
5" Wide (White) Striping	LF	0	\$5.50	\$0.00
5" Wide (Yellow) Striping	LF	0	\$5.50	\$0.00
12" Wide (White) Striping	LF	0	\$14.00	\$0.00
Preformed Pavement Marking Symbol	EA	0	\$1,000.00	\$0.00
Adjust Manhole	EA	3	\$500.00	\$1,500.00
Street Signs	EA	0	\$300.00	\$0.00

Subtotal (5% Contingency)				\$350,700.00
Engineering Fees, 21%				\$73,647.00
Legal Fees, 5%				\$17,535.00
Warrant Interest, 1 Yrs. @ 8%				\$28,056.00
Subtotal				\$469,938.00
Warrant Fee, 5%				\$23,496.90
Total				\$493,434.90

PAVEMENT, MINOR (GENERAL OBLIGATION)

Mobilizaton	LS	1	\$25,000.00	\$25,000.00
6-inch Median Pavement	SY	0	\$70.00	\$0.00
7-inch PCC Pavement	SY	0	\$55.00	\$0.00
9-inch PCC Pavement	SY	2182	\$80.00	\$174,595.56
Common Excavation	CY	873	\$10.00	\$8,729.78
Adjust Manhole	EA	0	\$1,000.00	\$0.00
5" Wide (White) Striping	LF	250	\$5.00	\$1,250.00
5" Wide (Yellow) Striping	LF	1300	\$5.00	\$6,500.00
12" Wide (White) Striping	LF	0	\$14.00	\$0.00
Preformed Pavement Marking Symbol	EA	2	\$1,000.00	\$2,000.00
Pavement Removal	SY	0	\$30.00	\$0.00
Street Signs	EA	0	\$500.00	\$0.00

Subtotal (5% Contingency)				\$228,979.10
Engineering Fees, 21%				\$48,085.61
Legal Fees, 5%				\$11,448.96
Warrant Interest, 1 Yrs. @ 8%				\$18,318.33
Subtotal				\$306,831.99
Warrant Fee, 5%				\$15,341.60
Total				\$322,173.59

PAVEMENT, MAJOR (CAPEHART ROAD)

Traffic Control and Mobilization	LS	0	\$25,000.00	\$0.00
Pavement Removal	SY	0	\$20.00	\$0.00
6-inch Median Pavement	SY	0	\$40.00	\$0.00
7-inch PCC Pavement	SY	0	\$45.00	\$0.00
9-inch PCC Pavement	SY	0	\$80.00	\$0.00
Common Excavation	CY	0	\$10.00	\$0.00
Adjust Manhole	EA	0	\$300.00	\$0.00
5" Wide (White) Striping	LF	0	\$10.00	\$0.00
5" Wide (Yellow) Striping	LF	0	\$5.50	\$0.00
12" Wide (White) Striping	LF	0	\$14.00	\$0.00
Curb Inlets	EA	0	\$3,500.00	\$0.00
Seeding and Matting, Erosion Items	SY	0	\$2.00	\$0.00
30-inch RCP Storm Sewer	LF	0	\$200.00	\$0.00

Subtotal (5% Contingency)				\$0.00
Engineering Fees, 21%				\$0.00
Legal Fees, 5%				\$0.00
Warrant Interest, 1 Yrs. @ 8%				\$0.00
Subtotal				\$0.00
Warrant Fee, 5%				\$0.00
Total				\$0.00

WATER INTERIOR

Interior Water Mains	L.S.	1.0		\$591,480.00
Interior Water Mains Master Fee	AC			\$0.00
Connection Charges	LS			\$0.00

Subtotal (5% Contingency)				\$621,054.00
Engineering Fees, 21%				\$130,421.34
Legal Fees, 5%				\$31,052.70
Warrant Interest, 1 Yrs. @ 8%				\$49,684.32
Subtotal				\$832,212.36
Warrant Fee, 5%				\$41,610.62
Total				\$873,822.98

WATER PIONEER MAIN FEE

Pioneer Main Fee	L.S.	1.0		\$138,744.54
Connection Charge	LS	0.0		\$0.00

Subtotal (0% Contingency)				\$138,744.54
Engineering Fees, 0%				\$0.00
Legal Fees, 5%				\$6,937.23
Warrant Interest, 1 Yrs. @ 8%				\$11,099.56
Subtotal				\$156,781.33
Warrant Fee, 5%				\$7,839.07
Total				\$164,620.40

WATER EXTERIOR

Exterior Water Mains	LF	0.0	\$150.00	\$0.00
Connection Charges	LS			\$0.00

Subtotal (5% Contingency)				\$0.00
Engineering Fees, 21%				\$0.00
Legal Fees, 5%				\$0.00
Warrant Interest, 1 Yrs. @ 8%				\$0.00
Subtotal				\$0.00
Warrant Fee, 5%				\$0.00
Total				\$0.00

GAS

Total				\$177,969.00
-------	--	--	--	--------------

Subtotal (0% Contingency)				\$177,969.00
Engineering Fees, 3%				\$53,390.70
Legal Fees, 5%				\$8,898.45
Warrant Interest, 1 Yrs. @ 8%				\$14,237.52
Subtotal				\$254,495.67
Warrant Fee, 5%				\$12,724.78
Total				\$267,220.45

POWER

Single Family Lots	EA	0	\$1,500.00	\$0.00
Comm/Industrial Backbone	AC	22.47	\$8,000.00	\$179,760.00

Subtotal (5% Contingency)				\$188,748.00
Engineering Fees, 21%				\$39,637.08
Legal Fees, 5%				\$9,437.40
Warrant Interest, 1 Yrs. @ 8%				\$15,099.84
Subtotal				\$252,922.32
Warrant Fee, 5%				\$12,646.12
Total				\$265,568.44

STORM SEWER (GENERAL OBLIGATION)

15-inch RCP Storm Sewer	LF	0	\$60.00	\$0.00
18-inch RCP Storm Sewer	LF	90	\$70.00	\$6,300.00
24-inch RCP Storm Sewer	LF	0	\$85.00	\$0.00
30-inch RCP Storm Sewer	LF	1500	\$120.00	\$180,000.00
36-inch RCP Storm Sewer	LF	490	\$150.00	\$73,500.00
42-inch RCP Storm Sewer	LF	260	\$215.00	\$55,900.00
48-inch RCP Storm Sewer	LF	260	\$275.00	\$71,500.00
54-inch RCP Storm Sewer	LF	0	\$325.00	\$0.00
60-inch RCP Storm Sewer	LF	640	\$380.00	\$243,200.00
72-inch RCP Storm Sewer	LF	90	\$450.00	\$40,500.00
84-inch RCP Storm Sewer	LF	0	\$500.00	\$0.00
Storm Manhole, 54-inch I.D.	EA	0	\$8,000.00	\$0.00
Storm Manhole, 60-inch I.D.	EA	1	\$10,000.00	\$10,000.00
Storm Manhole, 72-inch I.D.	EA	1	\$12,000.00	\$12,000.00
Storm Manhole, 84-inch I.D.	EA	1	\$15,000.00	\$15,000.00
Storm Manhole, 96-inch I.D.	EA	3	\$18,000.00	\$54,000.00
Storm Manhole, 120-inch I.D.	EA	2	\$25,000.00	\$50,000.00
Standard Ring and Cover	EA	7	\$1,200.00	\$8,400.00
Curb Inlets	EA	6	\$5,500.00	\$33,000.00
Area Inlets	EA	0	\$5,500.00	\$0.00
Flared End Sections	EA	2	\$6,000.00	\$12,000.00
10' X 7' Box Culvert w/ Wingwalls	LF	105	\$2,250.00	\$236,250.00
Rip Rap	TON	400	\$110.00	\$44,000.00
Embankment for Box Culvert	CY	0	\$12.00	\$0.00
Culvert Tree Clearing	LS	0	\$10,000.00	\$0.00
Temporary 48" CMP for Culvert Surcharge	LF	0	\$200.00	\$0.00
Sediment Basin Cleanout	LS	1	\$20,000.00	\$20,000.00
PCSMP Outlet	EA	1	\$20,000.00	\$20,000.00

Subtotal (5% Contingency)				\$1,244,827.50
Engineering Fees, 21%				\$261,413.78
Legal Fees, 5%				\$62,241.38
Warrant Interest, 1 Yrs. @ 8%				\$99,586.20
Subtotal				\$1,668,068.85
Warrant Fee, 5%				\$83,403.44
Total				\$1,751,472.29

SIDEWALK (GENERAL OBLIGATION)

5" P.C.C. Sidewalk Pavement	SY	0	\$70.00	\$0.00
Handicap Ramps	EA	2	\$1,500.00	\$3,000.00

Subtotal (5% Contingency)				\$3,150.00
Engineering Fees, 21%				\$661.50
Legal Fees, 5%				\$157.50
Warrant Interest, 1 Yrs. @ 8%				\$252.00
Subtotal				\$4,221.00
Warrant Fee, 5%				\$211.05
Total				\$4,432.05

SIDEWALK CAPEHART (GENERAL OBLIGATION)

5" P.C.C. Sidewalk Pavement	SY	0	\$55.00	\$0.00
Handicap Ramps	EA	0	\$1,500.00	\$0.00

Subtotal (5% Contingency)				\$0.00
Engineering Fees, 21%				\$0.00
Legal Fees, 5%				\$0.00
Warrant Interest, 1 Yrs. @ 8%				\$0.00
Subtotal				\$0.00
Warrant Fee, 5%				\$0.00
Total				\$0.00

PCSMP

Land Acquisition	AC	5.14	50,000.00	257,000.00

Subtotal				257,000.00
Fees, 20%				51,400.00
Total				308,400.00

SEWER FEES

Pioneer Main Fee	AC	22.47	\$29,984.00	\$673,740.48
Connection Charge	LS			\$0.00

Subtotal (0% Contingency)				\$673,740.48
Engineering Fees, 0%				\$0.00
Legal Fees, 5%				\$33,687.02
Warrant Interest, 1 Yrs. @ 8%				\$53,899.24
Subtotal				\$761,326.74
Warrant Fee, 5%				\$38,066.34
Total				\$799,393.08

Name of Addition

Springfield Gateway Park - Phase 2

SID # **New**

Source and Use of Funds: (Provide a separate sheet for the preliminary plat and for each final plat phase.)

	Quantity		Proposed Improvements Construction Cost	Total Cost	General Obligation	Special Assessed	Financing Reimbursable	Private
Storm Sewer								
Storm Sewer	1,780	LF	\$379,900	\$534,600	\$534,600			
Sanitary Sewer								
SCCWWA Sewer Fees	43.32	AC.	\$1,299,000	\$1,541,200	\$1,541,200	⁴		
Outfall (With Easements)		LF						
Interior	2,100	LF	\$210,200	\$295,700		\$295,700		
Paving								
Exterior (Capehart Rd)	930	SY	\$123,800	\$174,200	\$174,200	³		
Interior		SY						
City Review Fee	1	LS	\$20,200	\$20,200	\$20,200			
Springfield ASIP Fee	1	LS	\$65,000	\$78,000	\$78,000			
Capehart Rd Sidewalks	730	SY	\$42,200	\$59,400	\$59,400			
Water								
Interior		LS						
Pioneer Main Fee	1	LS	\$281,700	\$334,300	\$334,300			
Exterior								
Electricity	43.32	AC.	\$363,900	\$512,000		\$512,000		
Gas (Interior)	1	LS	\$361,400	\$542,600	\$542,600	⁵		
Total			\$3,147,300	\$4,092,200	\$3,284,500	\$807,700		

¹ Total cost includes engineering fees and administrative fees

² Attach a statement of assumptions as basis for preliminary projections.

³ Includes widening Capehart Rd to three lanes along the frontage of Springfield Gateway Park

⁴ 100% of SCCWWA Sewer Fees shall be paid by the SID as a General Obligation expense.

⁵ Includes approx. 9,200 LF of exterior gas main construction

G.O. Debt Less GO Reimbursements
Valuation
Debt Ratio

\$ 3,284,500
\$ 57,000,000
5.76%

Date

March 9, 2026

PRELIMINARY COST ESTIMATE - Phase 2
Springfield Gateway Park
TD2 NO: 2439-101
DATE: 03/09/2026
SID: New

ITEM OF WORK	UNIT	QUANTITY	UNIT PRICE	AMOUNT
SANITARY SEWER				
6-inch Stub San. Swr. w/ Crushed Rock Bedding	LF	0	\$60.00	\$0.00
8-inch Main Line San. Swr. w/ Crushed Rock Bedding	LF	2100	\$60.00	\$126,000.00
Directional Bore 8" PVC	LF	0	\$160.00	\$0.00
18-inch O.D. Welded Steel Casing	LF	0	\$150.00	\$0.00
Bore and Jack 18-inch O.D. Welded Steel Casing	LF	0	\$600.00	\$0.00
Wyes or Slants	EA	10	\$250.00	\$2,500.00
54" I.D. Sanitary Sewer Manhole	VF	70	\$700.00	\$49,000.00
Standard Ring & Cover	EA	10	\$1,200.00	\$12,000.00
Tap Existing Manhole/Stub	EA	0	\$2,000.00	\$0.00
Crushed Rock, Unstable Trench	TON	100	\$100.00	\$10,000.00
Geotextile Fabric, Unstable Trench	SY	100	\$6.00	\$600.00
Lift Station w/ Backup Generator	LS	0	\$400,000.00	\$0.00
4" PVC DR 14 Force Main w/ Tracer Wire	LF	0	\$38.00	\$0.00
Subtotal (5% Contingency)				\$210,105.00
Engineering Fees, 21%				\$44,122.05
Legal Fees, 5%				\$10,505.25
Warrant Interest, 1 Yrs. @ 8%				\$16,808.40
Subtotal				\$281,540.70
Warrant Fee, 5%				\$14,077.04
Total				\$295,617.74
SANITARY SEWER OUTFALL				
Mobilization	LS	0.00	\$25,000.00	\$0.00
Directional Bore PVC Siphon (10")	LF	0	\$150.00	\$0.00
8-inch San. Swr. w/ Crushed Rock Bedding	LF	0	\$60.00	\$0.00
15-inch San. Swr. w/ Crushed Rock Bedding	LF	0	\$110.00	\$0.00
Bore and Jack 18-inch O.D. Welded Steel Casing	LF	0	\$650.00	\$0.00
54" I.D. Sanitary Sewer Manhole	VF	0	\$700.00	\$0.00
Standard Ring & Cover	EA	0	\$1,200.00	\$0.00
Tap Existing Manhole/Stub	EA	0	\$5,000.00	\$0.00
Dewatering, If Necessary	LS	0	\$20,000.00	\$0.00
Crushed Rock, Unstable Trench	TON	0	\$100.00	\$0.00
Geotextile Fabric, Unstable Trench	SY	0	\$6.00	\$0.00
Seeding/Matting	SY	0	\$2.00	\$0.00
Geotech Report	LS	0	\$20,000.00	\$0.00
Topographic Survey	LS	0	\$20,000.00	\$0.00
Permanent Easement	ACRE	0	\$50,000.00	\$0.00
Temporary Easement	ACRE	0	\$10,000.00	\$0.00
Subtotal (5% Contingency)				\$0.00
Engineering Fees, 21%				\$0.00
Legal Fees, 5%				\$0.00
Warrant Interest, 1 Yrs. @ 8%				\$0.00
Subtotal				\$0.00
Warrant Fee, 5%				\$0.00
Total				\$0.00

PAVEMENT, MINOR (SPECIAL ASSESS)

Mobilizaton	LS	0	\$25,000.00	\$0.00
7-inch PCC Pavement	SY	0	\$55.00	\$0.00
9-inch PCC Pavement	SY	0	\$80.00	\$0.00
Common Excavation	CY	0	\$10.00	\$0.00
5" Wide (White) Striping	LF	0	\$5.50	\$0.00
5" Wide (Yellow) Striping	LF	0	\$5.50	\$0.00
12" Wide (White) Striping	LF	0	\$14.00	\$0.00
Preformed Pavement Marking Symbol	EA	0	\$1,000.00	\$0.00
Adjust Manhole	EA	0	\$500.00	\$0.00
Street Signs	EA	0	\$300.00	\$0.00

Subtotal (5% Contingency)				\$0.00
Engineering Fees, 21%				\$0.00
Legal Fees, 5%				\$0.00
Warrant Interest, 1 Yrs. @ 8%				\$0.00
Subtotal				\$0.00
Warrant Fee, 5%				\$0.00
Total				\$0.00

PAVEMENT, MINOR (GENERAL OBLIGATION)

Mobilizaton	LS	0	\$25,000.00	\$0.00
6-inch Median Pavement	SY	0	\$70.00	\$0.00
7-inch PCC Pavement	SY	0	\$55.00	\$0.00
9-inch PCC Pavement	SY	0	\$80.00	\$0.00
Common Excavation	CY	0	\$10.00	\$0.00
Adjust Manhole	EA	0	\$1,000.00	\$0.00
5" Wide (White) Striping	LF	0	\$5.00	\$0.00
5" Wide (Yellow) Striping	LF	0	\$5.00	\$0.00
12" Wide (White) Striping	LF	0	\$14.00	\$0.00
Preformed Pavement Marking Symbol	EA	0	\$1,000.00	\$0.00
Pavement Removal	SY	0	\$30.00	\$0.00
Street Signs	EA	0	\$500.00	\$0.00

Subtotal (5% Contingency)				\$0.00
Engineering Fees, 21%				\$0.00
Legal Fees, 5%				\$0.00
Warrant Interest, 1 Yrs. @ 8%				\$0.00
Subtotal				\$0.00
Warrant Fee, 5%				\$0.00
Total				\$0.00

PAVEMENT, MAJOR (CAPEHART ROAD)

Traffic Control and Mobilization	LS	1	\$25,000.00	\$25,000.00
Pavement Removal	SY	0	\$20.00	\$0.00
6-inch Median Pavement	SY	0	\$40.00	\$0.00
7-inch PCC Pavement	SY	0	\$45.00	\$0.00
9-inch PCC Pavement	SY	930	\$80.00	\$74,400.00
Common Excavation	CY	380	\$10.00	\$3,800.00
Adjust Manhole	EA	0	\$300.00	\$0.00
5" Wide (White) Striping	LF	700	\$10.00	\$7,000.00
5" Wide (Yellow) Striping	LF	1400	\$5.50	\$7,700.00
12" Wide (White) Striping	LF	0	\$14.00	\$0.00
Curb Inlets	EA	0	\$3,500.00	\$0.00
Seeding and Matting, Erosion Items	SY	0	\$2.00	\$0.00
30-inch RCP Storm Sewer	LF	0	\$200.00	\$0.00

Subtotal (5% Contingency)				\$123,795.00
Engineering Fees, 21%				\$25,996.95
Legal Fees, 5%				\$6,189.75
Warrant Interest, 1 Yrs. @ 8%				\$9,903.60
Subtotal				\$165,885.30
Warrant Fee, 5%				\$8,294.27
Total				\$174,179.57

WATER INTERIOR

Interior Water Mains	L.S.	1.0	\$0.00	\$0.00
Interior Water Mains Master Fee	AC			\$0.00
Connection Charges	LS			\$0.00

Subtotal (5% Contingency)				\$0.00
Engineering Fees, 21%				\$0.00
Legal Fees, 5%				\$0.00
Warrant Interest, 1 Yrs. @ 8%				\$0.00
Subtotal				\$0.00
Warrant Fee, 5%				\$0.00
Total				\$0.00

WATER PIONEER MAIN FEE

Pioneer Main Fee	L.S.	1.0		\$281,693.46
Connection Charge	LS	0.0		\$0.00

Subtotal (0% Contingency)				\$281,693.46
Engineering Fees, 0%				\$0.00
Legal Fees, 5%				\$14,084.67
Warrant Interest, 1 Yrs. @ 8%				\$22,535.48
Subtotal				\$318,313.61
Warrant Fee, 5%				\$15,915.68
Total				\$334,229.29

WATER EXTERIOR

Exterior Water Mains	LF	0.0	\$150.00	\$0.00
Connection Charges	LS			\$0.00

Subtotal (5% Contingency)				\$0.00
Engineering Fees, 21%				\$0.00
Legal Fees, 5%				\$0.00
Warrant Interest, 1 Yrs. @ 8%				\$0.00
Subtotal				\$0.00
Warrant Fee, 5%				\$0.00
Total				\$0.00

GAS

Total				\$361,331.00
-------	--	--	--	--------------

Subtotal (0% Contingency)				\$361,331.00
Engineering Fees, 3%				\$108,399.30
Legal Fees, 5%				\$18,066.55
Warrant Interest, 1 Yrs. @ 8%				\$28,906.48
Subtotal				\$516,703.33
Warrant Fee, 5%				\$25,835.17
Total				\$542,538.50

POWER

Single Family Lots	EA	0	\$1,500.00	\$0.00
Comm/Industrial Backbone	AC	43.32	\$8,000.00	\$346,560.00

Subtotal (5% Contingency)				\$363,888.00
Engineering Fees, 21%				\$76,416.48
Legal Fees, 5%				\$18,194.40
Warrant Interest, 1 Yrs. @ 8%				\$29,111.04
Subtotal				\$487,609.92
Warrant Fee, 5%				\$24,380.50
Total				\$511,990.42

STORM SEWER (GENERAL OBLIGATION)

15-inch RCP Storm Sewer	LF	0	\$60.00	\$0.00
18-inch RCP Storm Sewer	LF	0	\$70.00	\$0.00
24-inch RCP Storm Sewer	LF	0	\$85.00	\$0.00
30-inch RCP Storm Sewer	LF	0	\$120.00	\$0.00
36-inch RCP Storm Sewer	LF	1780	\$150.00	\$267,000.00
42-inch RCP Storm Sewer	LF	0	\$215.00	\$0.00
48-inch RCP Storm Sewer	LF	0	\$275.00	\$0.00
54-inch RCP Storm Sewer	LF	0	\$325.00	\$0.00
60-inch RCP Storm Sewer	LF	0	\$380.00	\$0.00
72-inch RCP Storm Sewer	LF	0	\$450.00	\$0.00
84-inch RCP Storm Sewer	LF	0	\$500.00	\$0.00
Storm Manhole, 54-inch I.D.	EA	0	\$8,000.00	\$0.00
Storm Manhole, 60-inch I.D.	EA	0	\$10,000.00	\$0.00
Storm Manhole, 72-inch I.D.	EA	5	\$12,000.00	\$60,000.00
Storm Manhole, 84-inch I.D.	EA	1	\$15,000.00	\$15,000.00
Storm Manhole, 96-inch I.D.	EA	0	\$18,000.00	\$0.00
Storm Manhole, 120-inch I.D.	EA	0	\$25,000.00	\$0.00
Standard Ring and Cover	EA	6	\$1,200.00	\$7,200.00
Curb Inlets	EA	0	\$5,500.00	\$0.00
Area Inlets	EA	0	\$5,500.00	\$0.00
Flared End Sections	EA	1	\$6,000.00	\$6,000.00
10' X 7' Box Culvert w/ Wingwalls	LF	0	\$2,250.00	\$0.00
Rip Rap	TON	60	\$110.00	\$6,600.00
Embankment for Box Culvert	CY	0	\$12.00	\$0.00
Culvert Tree Clearing	LS	0	\$10,000.00	\$0.00
Temporary 48" CMP for Culvert Surcharge	LF	0	\$200.00	\$0.00
Sediment Basin Cleanout	LS	0	\$20,000.00	\$0.00
PCSMP Outlet	EA	0	\$20,000.00	\$0.00

Subtotal (5% Contingency)				\$379,890.00
Engineering Fees, 21%				\$79,776.90
Legal Fees, 5%				\$18,994.50
Warrant Interest, 1 Yrs. @ 8%				\$30,391.20
Subtotal				\$509,052.60
Warrant Fee, 5%				\$25,452.63
Total				\$534,505.23

SIDEWALK (GENERAL OBLIGATION)

5" P.C.C. Sidewalk Pavement	SY	0	\$70.00	\$0.00
Handicap Ramps	EA	0	\$1,500.00	\$0.00

Subtotal (5% Contingency)				\$0.00
Engineering Fees, 21%				\$0.00
Legal Fees, 5%				\$0.00
Warrant Interest, 1 Yrs. @ 8%				\$0.00
Subtotal				\$0.00
Warrant Fee, 5%				\$0.00
Total				\$0.00

SIDEWALK CAPEHART (GENERAL OBLIGATION)

5" P.C.C. Sidewalk Pavement	SY	730	\$55.00	\$40,150.00
Handicap Ramps	EA	0	\$1,500.00	\$0.00

Subtotal (5% Contingency)				\$42,157.50
Engineering Fees, 21%				\$8,853.08
Legal Fees, 5%				\$2,107.88
Warrant Interest, 1 Yrs. @ 8%				\$3,372.60
Subtotal				\$56,491.05
Warrant Fee, 5%				\$2,824.55
Total				\$59,315.60

PCSMP

Land Acquisition	AC	0.00	50,000.00	0.00
------------------	----	------	-----------	------

Subtotal				0.00
Fees, 20%				0.00
Total				0.00

SEWER FEES

Pioneer Main Fee	AC	43.32	\$29,984.00	\$1,298,906.88
Connection Charge	LS			\$0.00

Subtotal (0% Contingency)				\$1,298,906.88
Engineering Fees, 0%				\$0.00
Legal Fees, 5%				\$64,945.34
Warrant Interest, 1 Yrs. @ 8%				\$103,912.55
Subtotal				\$1,467,764.77
Warrant Fee, 5%				\$73,388.24
Total				\$1,541,153.01

Name of Addition

Springfield Gateway Park - Total (For Reference Only)

SID # **New**

Source and Use of Funds: (Provide a separate sheet for the preliminary plat and for each final plat phase.)

	Proposed Improvements		Total Cost	General Obligation	Special Assessed	Financing Reimbursable	Private
	Quantity	Construction Cost					
Storm Sewer							
Storm Sewer	4,380	LF	\$1,624,800	\$2,286,100	\$2,286,100		
Sanitary Sewer							
SCCWVA Sewer Fees	65.79	AC.	\$1,972,800	\$2,340,600	\$2,340,600 ⁴		
Outfall (With Easements)	2,000	LF	\$436,600	\$614,300	\$614,300	\$282,600 ³	
Interior	3,700	LF	\$397,900	\$559,800	\$559,800		
Paving							
Exterior (Capehart Rd)	930	SY	\$123,800	\$174,200	\$174,200 ⁶		
Interior	5,842	SY	\$579,700	\$815,700	\$322,200	\$493,500	
Highway 50 Traffic Signal	1	LS	\$500,000	\$695,000	\$695,000	\$347,500 ⁵	
City Review Fee	1	LS	\$51,500	\$51,500	\$51,500		
Springfield ASIP Fee	1	LS	\$100,000	\$120,000	\$120,000		
ADA Ramps and SID Sidewalks	2	EA	\$3,200	\$4,500	\$4,500		
Capehart Rd Sidewalks	730	SY	\$42,200	\$59,400	\$59,400		
Water							
Interior	1	LS	\$621,100	\$873,900	\$873,900		
Pioneer Main Fee	1	LS	\$420,500	\$499,000	\$499,000		
Exterior		LS					
Electricity	22.47	AC.	\$552,700	\$777,600	\$777,600		
Gas (Interior)	1	LS	\$539,400	\$809,900	\$809,900 ⁷		
Total			\$7,966,200	\$10,681,500	\$7,976,700	\$2,704,800	\$630,100

¹ Total cost includes engineering fees and administrative fees

² Attach a statement of assumptions as basis for preliminary projections.

³ Outfall services 138 acres and proposed project uses 75 acres of service; therefore, 46% of outfall shall be reimbursed by future connections to outfall built by Springfield Gateway Park.

⁴ 100% of SCCWWA Sewer Fees shall be paid by the SID as a General Obligation expense.

⁵ 50% of Highway 50 Traffic Signal at Gateway Drive to be reimbursible by property adjacent to the east of Springfield Gateway Park upon development

⁶ Includes widening Capehart Rd to three lanes along the frontage of Springfield Gateway Park

⁷ Includes approx. 9,200 LF of exterior gas main construction

G.O. Debt Less GO Reimbursements
Valuation
Debt Ratio

\$ 7,346,600
\$ 85,500,000
8.59%

Date

March 9, 2026



SPRINGFIELD

NEBRASKA

MAYOR AND CITY COUNCIL REPORT
MAY 5, 2026 AGENDA

Agenda Item:	Subject:	Submitted By:
Regular Agenda Item 6	Consider approval of Resolution 2026-20 approving the Sarpy County and Cities Wastewater Agency proposed FY2026-2027 budget	Kathleen Gottsch City Administrator

Synopsis

On April 22, 2026, the Sarpy County and Cities Wastewater Agency approved the budget for the fiscal year 2026-2027. The budget must be approved by each agency member upon approval by the agency board. A copy of Resolution 2026-20 is attached along with the proposed budget spreadsheet.

Recommendation

Staff recommends approval.

Attachments

Resolution 2026-20
SCCWWA Resolution 2026-012
FY2026-2027 Budget

**RESOLUTION
2026-20**

**APPROVING THE SARPY COUNTY AND CITIES WASTEWATER AGENCY
PROPOSED FY2026-2027 BUDGET**

WHEREAS, City of Springfield is a party to an interlocal agreement (as amended, the "Formation Interlocal") entered into pursuant to the Interlocal Cooperation Act, set out at Neb. Rev. Stat. § 13-801 et seq., by and between Sarpy County and the Cities of Papillion, Bellevue, Springfield, La Vista and Gretna (the "Members"), which formed the interlocal agency called the Sarpy County and Cities Wastewater Agency (the "Agency");

WHEREAS, pursuant to Section IX of the Formation Interlocal, the Agency Board is required to approve an itemized annual budget which shall be presented to and subject to approval of the individual governing body of each Member;

WHEREAS, pursuant to Agency Resolution No. 2026-012 the Agency Board approved the proposed FY2026-2027 Budget, a copy of which is attached hereto as **Exhibit A**; and

WHEREAS, the City of Springfield deems it appropriate and advisable to approve the proposed FY2026-2027 Budget which has been approved by the Agency Board and is attached hereto as **Exhibit A**.

NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF SPRINGFIELD that the proposed FY2026-2027 Budget is hereby approved.

The above Resolutions were approved by a vote of the Governing Body of the City of Springfield at a public meeting duly held in accordance with applicable law on the 5th day of May 2026.

City Council Member _____ moved the adoption of said resolution.

City Council Member _____ seconded the motion.

Ayes: _____

Nays: _____

Abstain: _____

Absent: _____

Approved:

Mayor

SEAL

Attest:

City Clerk

Exhibit A

FY2026-2027 Budget

[Attached]

**RESOLUTION APPROVING THE SARPY COUNTY AND CITIES WASTEWATER
AGENCY FY2026-2027 BUDGET**

WHEREAS, pursuant to the Interlocal Cooperation Act, set out at Neb. Rev. Stat. § 13-801 et seq., (hereinafter the “Act”), Sarpy County and the Cities of Papillion, Bellevue, Springfield, La Vista and Gretna entered into an agreement (as amended, “Formation Interlocal”) and formed the interlocal agency called the Sarpy County and Cities Wastewater Agency (hereinafter the “Agency”); and

WHEREAS, the Agency Board discussed the proposed FY2026-2027 Budget and after discussion the Agency Board deemed it advisable to approve the proposed FY2026-2027 Budget, attached hereto as **Exhibit A**, and pursuant to Section IX of the Formation Interlocal, the FY2026-2027 Budget shall be presented to the governing body of each Agency Member for review and approval.

NOW, THEREFORE, BE IT RESOLVED BY THE AGENCY BOARD that the FY2026-2027 Budget is hereby approved and shall be presented to and subject to the approval of the individual governing body of each Agency Member; and

NOW, THEREFORE, IT FURTHER BE RESOLVED BY THE AGENCY BOARD that the Agency Board Chair is hereby authorized to execute, on behalf of the Agency Board, any and all documents associated with or in furtherance of the FY2026-2027 Budget.

The above Resolutions were approved by a vote of the Sarpy County and Cities Wastewater Agency Board at a public meeting duly held in accordance with applicable law on the 22nd day of April, 2026.

ATTEST:

Lisa A. Haine
Sarpy County and Cities Wastewater
Agency Secretary



David R. Kelly
Sarpy County and Cities Wastewater
Agency Board Chair

Exhibit A

FY2026-2027 Budget

[Attached]

SCCWWA FY 26 - 27 Budget	25-26		26-27		% Change
	Budget Totals		Proposed Budget Totals		
	Originals		Originals		
Income					
25000 CWSRF Planning Loan					
25010 CWSRF Construction Loan					
25020 WIFIA Construction Loan (WIFIA)	\$	19,000,000	\$	9,744,000	-48.72%
26000 Member PILOT Contributions	\$	907,149	\$	1,228,367	35.41%
28000 Bellevue Expanded Force Main Contribution					
Flow Metering Reimbursement Agency Member					
40001 CWSRF Planning Loan					
40002 CWSRF Construction Loan					
40003 Additional Construction Loan (WIFIA) or Grants					
40005 Gemini Customer Contribution Funds Used					
40006 Gemini Future ISS Replacement Reimbursement	\$	66,800	\$	100,287	50.13%
40100 Connection Fees	\$	920,700	\$	1,323,000	43.70%
New line item Pioneering Connection Fees			\$	300,000	100.00%
40150 Springfield Omaha Sewer Charge Reimbursement	\$	31,000	\$	33,200	7.10%
40200 User Rate Charges	\$	790,000	\$	738,510	-6.52%
40250 User Rate Charges - CWB (ISS)	\$	138,489	\$	141,072	1.87%
40300 Misc. Revenue					
40310 Federal Earmark	\$	-	\$	-	
40312 Federal Earmark	\$	-	\$	-	
New Federal Earmark Bacon \$2M			\$	2,000,000	100.00%
40320 Sarpy County ARPA Funds	\$	-	\$	-	
40330 NEDNR LB814 Contract	\$	-	\$	-	
40400 Bellevue Expanded Force Main Payment					
40450 Member PILOT Contributions					
45001 Interest Income	\$	215,000	\$	254,800	18.51%
Billable Expense Income					
Sales of Product Income					
Total Income	\$	22,069,138	\$	15,863,237	-28.12%
Cost of Goods Sold					
50000 Cost of Goods Sold					
55000 Planning Loan Principal Repayment	\$	500,000	\$	500,000	0.00%
55010 Construction Loan Principal Repayment	\$	1,000,000	\$	1,000,000	0.00%
56000 PILOT Repaid					
56100 Sarpy Co PILOT Repaid					
56200 Bellevue PILOT Repaid					
56300 Gretna PILOT Repaid					
56400 La Vista PILOT Repaid					
56500 Papillion PILOT Repaid					
56600 Springfield PILOT Repaid					
Total Cost of Goods Sold	\$	1,500,000	\$	1,500,000	0.00%
Expense					
60000 Professional Services			\$	-	
60001 Financial Advisor Fees	\$	15,000	\$	15,000	0.00%
60005 Consulting Fees			\$	-	
60005.01 Steven Jensen Consulting	\$	15,000	\$	2,500	-83.33%
60005.40 Midwest ROW Consulting	\$	1,520,000	\$	400,000	-73.68%
Total Consulting Fees	\$	1,535,000	\$	402,500	-73.78%
60006 Engineering Design Fees					
60006.01 Misc. Engineering Design Fees	\$	77,500	\$	50,000	-35.48%
Phase 1B & 2 Engineering Design Fees	\$	5,850,500	\$	6,775,000.00	15.80%
CMAR Pre Construction Services Fees	\$	300,000	\$	300,000.00	0.00%
Total Engineering Design Fees	\$	6,228,000	\$	7,125,000	14.40%
60007 Agency Loan Admin Fees	\$	70,000	\$	35,000	-50.00%
60010 Legal & Professional Services					
60020 Printing & Legal Notices	\$	2,060	\$	1,500	-27.18%
60040 Quickbooks & Payroll Fees	\$	20,000	\$	10,000	-50.00%
60050 Audit Fees	\$	30,000	\$	30,000	0.00%
60060 Legal Services - General Legal Counsel	\$	200,000	\$	125,000	-37.50%
60065 Legal Proceedings and Litigation	\$	50,000	\$	50,000	0.00%
60070 Other Professional Services	\$	36,000	\$	36,000	0.00%
60080 Rate Study Services	\$	25,000	\$	10,000	-60.00%
Total Legal & Professional Services	\$	363,060	\$	262,500	-27.70%



60100 USSWS Project Costs				
60110 Right-of-Way, Easements, and Land Acquisitions	\$ 8,000,000	\$ 3,723,440		-53.46%
60120 Springfield Creek Interceptor Sewer (SCI)				
60130 Industrial Sewer System (ISS)				
60140 Lift Stations (LS)		\$ -		100.00%
60143 Force Main, Segments 1-4 (FM)				
60146 Zwiebel Creek Subbasin 3 Interceptor Sewer (ZC3)				
Springfield WTP Decommissioning	\$ 2,800,000	\$ -		
Sarpy Lift Station Decommissioning		\$ 500,000		100.00%
Flow Metering Construction Costs				
60148 Odor Control Equipment	\$ 20,000	\$ 10,000		-50.00%
60150 SCI Bid Phase Services				
60160 ISS Bid Phase Services				
60170 SCI Construction Phase Services	\$ -			
60175 HDR LS, FM & ZC3 Phase 1A Construction Phase Services	\$ 50,000	\$ -		
60180 ISS Construction Phase Services	\$ -			
60185 LS, FM & ZC3 Phase 1A Construction Testing, Surveying	\$ 50,000	\$ 15,000		-70.00%
Total USSWS Project Costs	\$ 10,920,000	\$ 4,248,440		-61.09%
62000 USSWS Operations & Maintenance				
62010 ISS/Basin Electrical O&M	\$ 2,400	\$ 1,500		-37.50%
62020 ISS/Basin Grounds O&M	\$ 2,500	\$ 2,500		0.00%
62030 ISS Line O&M	\$ 1,200	\$ 2,000		66.67%
62040 ISS/Basin Manhole/Structure O&M	\$ 1,200	\$ 4,000		233.33%
62050 ISS/Basin Misc. O&M	\$ 1,100	\$ 1,000		-9.09%
62060 ISS/Basin Permit Compliance	\$ 5,400	\$ -		-100.00%
62070 ISS/Basin Sampling & Testing	\$ 10,800	\$ 22,100		104.63%
62080 ISS/Basin Software	\$ 5,400	\$ 1,000		-81.48%
62090 ISS/Basin Supply Power	\$ 5,400	\$ -		-100.00%
62100 ISS/Basin Wireless/Internet	\$ 1,200	\$ 1,200		0.00%
62310 USSWS Electrical O&M	\$ 5,200	\$ 5,000		-3.85%
62320 USSWS Grounds O&M	\$ 9,500	\$ 10,000		5.26%
62330 USSWS Line O&M	\$ 85,800	\$ 20,000		-76.69%
62340 USSWS Manhole/Structure O&M	\$ 43,400	\$ -		-100.00%
Bioxide Chemical Treatment	\$ 233,700	\$ 200,000		-14.42%
62350 USSWS Misc. O&M	\$ 2,500	\$ 2,500		0.00%
62360 USSWS Permit Compliance		\$ 2,000		100.00%
62370 USSWS Sampling & Testing		\$ -		0.00%
62380 USSWS SCADA System	\$ 7,600	\$ 60,000		689.47%
62390 USSWS Supply Power	\$ 87,900	\$ 65,000		-26.05%
62400 USSWS Wireless/Internet	\$ 3,600	\$ 6,000		66.67%
62500 USSWS One-Call Locates	\$ 2,700	\$ 2,500		-7.41%
62510 ISS One-Call Locates	\$ 1,700	\$ 1,000		-41.18%
62540 Misc. Shipping	\$ 700	\$ 500		-28.57%
62550 Contracted Services	\$ 200,000	\$ 200,000		0.00%
62660 Flow Metering Expense	\$ 80,000	\$ 85,000		6.25%
62700 Omaha Capital Connection Fees	\$ 45,000	\$ 64,600		43.56%
62950 O&M Contingency Funds	\$ 38,300	\$ -		-100.00%
Property Insurance	\$ 118,350	\$ 98,000		-17.19%
Total USSWS Operations & Maintenance	\$ 1,002,550	\$ 857,400		-14.48%
63000 Vehicles & O&M Equipment				
63001 Vehicles	\$ 19,055	\$ -		-100.00%
63003 Large Equipment (+\$5,000)	\$ 150,000	\$ 6,000		-96.00%
63006 Small Equipment (-\$5,000)	\$ 25,000	\$ 15,000		-40.00%
63008 Equipment / Tool Rental	\$ 10,300	\$ 5,000		-51.46%
63010 Vehicle Fuel	\$ 10,300	\$ 9,000		-12.62%
63020 Equipment Fuel	\$ 45,000	\$ 30,000		-33.33%
63040 Vehicle Repairs & Maintenance	\$ 5,150	\$ 5,000		-2.91%
63050 Equipment Repairs & Maintenance	\$ 10,300	\$ 5,000		-51.46%
63070 Safety / PPE	\$ 2,060	\$ 1,500		-27.18%
63090 Insurance - Commercial Automobile	\$ 9,100	\$ 8,950		-1.65%
63950 Equipment Contingency Funds	\$ 10,300	\$ 10,000		-2.91%
Total Vehicles & O&M Equipment	\$ 296,565	\$ 95,450		-67.81%
64000 Office Equipment & Supplies				
64005 Office Supplies	\$ 5,000	\$ 5,000		0.00%
64010 Office Tools, Equipment & Maintenance	\$ 2,000	\$ 2,000		0.00%
64020 Computers, Printers & Furniture	\$ 6,000	\$ 5,000		-16.67%
64030 Software / SAS	\$ 24,100	\$ 22,000		-8.71%
64035 SCIS IT Services	\$ 10,300	\$ 12,000		16.50%
New line item fro Sarpy GIS		\$ 12,000		100.00%
64050 Office Rental	\$ 12,700	\$ 12,700		0.00%
64060 Postage & Shipping	\$ 1,030	\$ 500		-51.46%
64070 Office Wireless Internet	\$ 5,600	\$ 5,670		1.25%
Total Office Equipment & Supplies	\$ 66,730	\$ 76,870		15.20%

65000 Personnel & Benefits					
65010 Salaries, Full Time	\$	601,000	\$	650,000	8.15%
65020 Payroll Taxes	\$	46,000	\$	48,500	5.43%
65030 Deferred Compensation	\$	36,050	\$	47,000	30.37%
65040 Health Insurance	\$	86,000	\$	90,500	5.23%
65045 Post-Employment Health Insurance Plan	\$	3,200	\$	2,500	-21.88%
65050 Dental Insurance	\$	4,500	\$	4,500	0.00%
65060 Life Insurance	\$	600	\$	400	-33.33%
65070 Disability Insurance	\$	1,800	\$	1,800	0.00%
65080 Unemployment / Benefit Payout	\$	1,133	\$	800	-29.39%
65090 Workers Compensation Insurance	\$	7,500	\$	7,000	-6.67%
65100 Uniform Allowance	\$	1,000	\$	1,000	0.00%
65110 Licenses / Certifications	\$	2,060	\$	2,050	-0.49%
65120 Books / Periodicals	\$	660	\$	660	0.00%
65130 Organizational Dues	\$	5,000	\$	5,000	0.00%
65140 Professional Dev. / Conferences	\$	2,500	\$	2,500	0.00%
65150 Travel & Lodging	\$	2,500	\$	2,500	0.00%
65160 Recruitment & Onboarding			\$	-	0.00%
65170 Personnel Contingency Funds	\$	10,300	\$	5,000	-51.46%
Total Personnel & Benefits	\$	815,403	\$	871,710	6.91%
66000 Depreciation Expense					
70002 Uncategorized Expense					
70005 Unapplied Cash Bill Payment Expense					
Omaha Costs					
Omaha wholesale flow charge	\$	180,868	\$	262,763	45.28%
Bulk I monthly customer charge (annualized)	\$	10,197	\$	10,600	3.95%
New line item for Pioneering Reimbursement (25% of Pioneering Con fees)			\$	75,000	100%
Total Expense	\$	21,503,373	\$	14,338,232	-33.32%
Other Expense					
70003 Other Miscellaneous Expense					
70004 Reconciliation Discrepancies					
Total Other Expense					
Total Net Income	\$	(934,235)	\$	25,004	97.32%

SCCWWA FY 2026/2027 Budget Adopted by Agency Board: [], 2026
 SCCWWA FY 2026/2027 Budget Adopted by Sarpy County Governing Body: [], 2026 SCCWWA FY 2026/2027 Budget Adopted by Bellevue Governing Body: [], 2026
 SCCWWA FY 2026/2027 Budget Adopted by Gretna Governing Body: [], 2026 SCCWWA FY 2026/2027 Budget Adopted by La Vista Governing Body: [], 2026
 SCCWWA FY 2026/2027 Budget Adopted by Papillion Governing Body: [], 2026 SCCWWA FY 2026/2027 Budget Adopted by Springfield Governing Body: [], 2026

Adopted by SCCWWA: 4/22/2026

Adopted by Sarpy County: _____

Adopted by City of Bellevue, Nebraska: _____

Adopted by City of Papillion, Nebraska: _____

Adopted by City of La Vista, Nebraska: _____

Adopted by City of Gretna, Nebraska: _____

Adopted by City of Springfield, Nebraska: _____



SPRINGFIELD

NEBRASKA

MAYOR AND CITY COUNCIL REPORT
MAY 5, 2026 AGENDA

Agenda Item:	Subject:	Submitted By:
Regular Agenda Item 7	Consider approval of a bid for epoxy repairs at the water tower	Barb Henninger City Clerk

Synopsis

Heath Shemek, Water/Sewer Operator, obtained a bid from Inland Potable Services, Inc. in the amount of \$3,550.00 for epoxy repairs at the water tower. Inland Potable Services, Inc. will provide certified commercial divers and disinfected equipment for diving services.

The scope of work includes:

- Epoxy repairs to the 500KG steel bolted standpipe.
- Removal of up to three (3) inches of sediment from the tank floor.
- Visual inspection of the interior and exterior of the tank.
- Written report with photos and a video of the dive.

During the dive, sediment depths will be measured by the diver and documented on video. If removal of sediment of an abnormal consistency (clay, calcium, rocks, pebbles, mud, etc.), additional sediment removal (over 3 inches from the floor), wall cleaning or epoxy repairs is requested and approved by designated on-site representative, each of these services will be performed at a rate of \$600.00 per hour.

Fuel Surcharge – Effective March 1, 2026, a fuel surcharge of \$50.00 per day will be added to this contract if the price of diesel fuel exceeds \$4.00 per gallon on the date of contract completion.

Recommendation

Council consideration.

Attachments

Bid from Inland Potable Services, Inc.



City of Springfield
 Heath Shemek
 PO Box 189
 Springfield, NE 68059

Date: April 16, 2026
 Phone: 402-253-2992
 Email: hshemek@springfieldne.org

Diving Services for Potable Water Tank Cleaning and Inspection

Tanks	Tank Description	Additional Information	Scope of Work Includes
1	<p align="center">Epoxy Repair 500KG Steel Bolted Standpipe 30' Dia. x 100 High</p>	<p align="center">EPOXY REPAIR.</p>	<p align="center"><u>Clean and inspect.</u></p> <p>Up to three (3) inches of sediment removal from the tank floor.</p> <p>Visual inspection of the interior and exterior of the tank.</p> <p>Written .pdf report with photos and a Video of the dive.</p>
<p align="center"><u>Proposal Total: \$3550.00</u></p> <p align="center">Proposals signed and returned to Inland Potable Services are valid for one year from date of acceptance.</p>			

Payment terms: 1% Ten Days, Net 30 Days. 1.5% interest will be charged on all accounts past 30 days.

This contract is based on a total price which includes time and mobilization to and from the project site, set-up and breakdown of equipment, and the preparation for the dive and diving services. Diving services will include sediment removal up to 3 inches from the floor, a video inspection and written report for your records (still photos included). During the initial dive, sediment depths will be measured by the diver and documented on video.

If removal of sediment of an abnormal consistency (clay, calcium, rocks, pebbles, mud, etc.), additional sediment removal (over 3 inches from the floor), wall cleaning or epoxy repairs is requested and approved by designated on-site representative, each of these services will be performed at a rate of \$600.00 per hour.

Inland Potable Services, Inc. will provide all personnel and equipment necessary to provide diving services in the above referenced tank(s) or reservoir(s). We will provide your utility with a written report as well as a narrated color video for the services performed. The tank(s) or reservoir(s) will be inspected according to American Water Works Association (AWWA), NACE, SSPC, ASNT, ACI and AWS standards.

- All divers employed by Inland Potable Services are certified Commercial Divers.
- Inland Potable Services is fully bondable and insured.
- All equipment entering the tanks will be disinfected with a minimum of 200 ppm Chlorine.
- Schedule dates are tentative and are subject to change.
- If Inland Potable Services dive team is required to stop working or is delayed working due to unforeseen circumstances or any reasons beyond our control (i.e. no utility personnel onsite,

inability to access designated work site, low water level, etc.) a down-time charge of \$600.00 per hour will be charged.

- A fee based on \$600.00 per hour will be charged if we are unable to get our truck and trailer to a tank location. We will use portable dive gear and cleaning equipment to complete the job. Please understand that use of utility vehicles or equipment may be necessary to get our equipment to a tank.
- Inland Potable Services makes every attempt to obtain complete information from customers prior to the presentation of bids concerning fees required for municipal licenses, registration fees, Sales Tax or Use Taxes in your area. These items are identified on your contract. In the event that additional fees are discovered or charged, after the bid has been submitted, these charges will be added to the stated contract amount when billed.

Amanda Lantz, Regional Account Manager

Date: April 16, 2026

Important Information

Hatch Size - The entry hatch on top of the tank must be at least 20 inches in diameter or square with no obstructions that would prevent entry. A futile trip charge of \$500.00 will be levied if the team is unable to enter the tank due to the hatch size being too small or objects are blocking the entry.

Water Level – Please understand, the water level within the tank must be within ten (10) feet or less of the hatch opening prior to the dive team's arrival. If the air gap is more than 10 feet, a fee of **\$600.00** per hour will be charged until the water reaches the appropriate level.

Tank Information – Please verify the type of tank, dimensions or information listed in the proposal is accurate. If the tank dimensions or information is not accurate as listed then additional costs may be added.

Completion Date – With acceptance this work will be completed at a mutually acceptable date within one year. If money budgeted for this work must be used by a specific date, please indicate the date on this line and every attempt will be made to meet the given date: _____

Option – If a hatch gasket (\$125.00), a #24 mesh vent screen (\$75) and/or a lock for the hatch (\$25) is needed, would you like the dive team to install while on-site? **Yes** ___ **No** ___

Fuel Surcharge - Effective March 1, 2026 a fuel surcharge of \$50.00 per day will be added to this contract, if the price of diesel fuel exceeds \$4.00 per gallon on the date of the contract completion.

To accept, please sign and date the proposal. Please fax both pages to 303-400-4215 or scan and email them to me at amanda@inlandpotableservices.com.

Printed Name and Title

Signature

Date: _____



SPRINGFIELD

NEBRASKA

MAYOR AND CITY COUNCIL REPORT
MAY 5, 2026 AGENDA

Agenda Item:	Subject:	Submitted By:
Regular Agenda Item 8	Consider approval of a bid for the construction of pickleball courts at City Park	Barb Henninger, City Clerk Kathleen Gottsch, City Administrator

Synopsis

Tyler Holdorf, Parks Director, obtained two bids for the construction of pickleball courts at City Park.

Tennis Courts Unlimited Inc.

- Construct **two** pickleball courts 60' x 60', 5" concrete slab reinforced with rebar
- 6' Chain link fence around perimeter with one walk gate
- Install two sets of Edwards surface mounted net post with net and center anchor
- Prepare concrete and install one coat of concrete primer and one coat of acrylic resurfacer
- Install two coats of Plexipave color coating
- Paint new white lines for pickleball
- One year warranty on workmanship and material
- Total investment = \$67,785.00**

Jensen Gardens

- Construct **one** pickleball court 32' x 56', 5.5" depth L610 Parks & Rec standard mix design
- Install Douglas SQ 36" PB Post Sets – Surface Mount and PN-30 New with center strap
- Paint 2" thick white line for pickleball
- Construct two 5' x 10' concrete bench pads
- Install two 6' park benches
- Total Investment = \$28,136.00**
- Alternate/Subcontract: 6' black chain link fence around perimeter with 5' gate = \$10,164.00*
- Total Investment w/ Fencing = \$38,300.00**

Jensen Gardens' bid included a map of the proposed location for a pickleball court. This location contradicts the city's park master plan which depicts a pavilion in this location. Kathleen feels that the pickleball court(s) should be located in the open green space area so as to not interfere with the future pavilion. The pavilion should be centrally located for use by all park visitors.

Recommendation

Council consideration. Kathleen has asked Tyler to obtain a revised bid from Jensen Gardens for the cost of two pickleball courts. She also asked him to verify with Jensen Gardens whether or not they were coating the concrete in the same manner as Tennis Courts Unlimited is recommending.

We do not need a contractor to pour a concrete pad or install benches for the pickleball court(s). This is a project the city staff can complete in conjunction with court installation.

\$30,000 in city sales tax was included in the FY2025-2026 budget for outdoor pickleball. We did not have proper bids during budget prep, so we threw a number in at that time based off concrete estimates.

We budgeted \$100,000 in city sales tax for a library master plan / architectural rendering, but we are only spending \$13,500 on that project so we have funds remaining to cover the balance.

Attachments

Bid from Tennis Courts Unlimited Inc.

Bid from Jensen Gardens

Proposed location map provided by Jensen Gardens

City Park Master Plan Map, adopted May 2017



CHAN LAURENT

402-618-2534

Chanlaurent@yahoo.com

4-15-26

Re: Construct two concrete pickleball courts. 60' x 60'

Procedures.

1. Prepare 60' x 60' area for a 5" concrete slab reinforced with rebar on 30" centers.
2. The slab will have control joints every 15' in both directions.
3. Install a 3" crushed rock base with a 6 mil. Vapor barrier.
4. Install 6' chain link fence around perimeter with one walk gate.
5. Install two sets of Edwards surface mounted net post with net and center anchor.
6. Fill all cracks with court patch binder.
7. Acid wash concrete and power wash.
8. Install one coat of concrete primer.
9. Install one coat of acrylic resurfacer .
10. Install two coats of Plexipave color coating.
11. Paint new white lines for pickleball.
12. A one year warranty on workmanship and material.

Total Investment: \$67,785,00

Accepted _____ Date _____

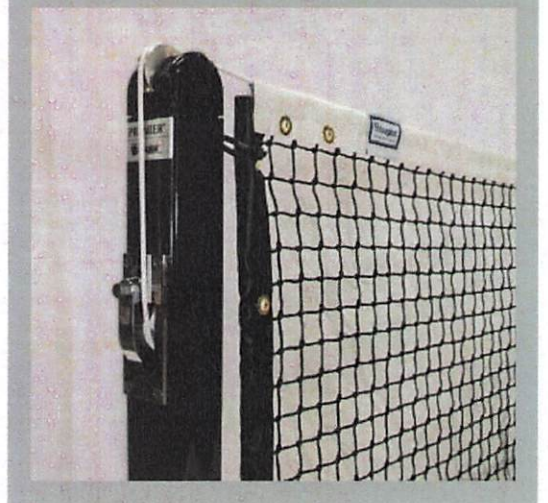
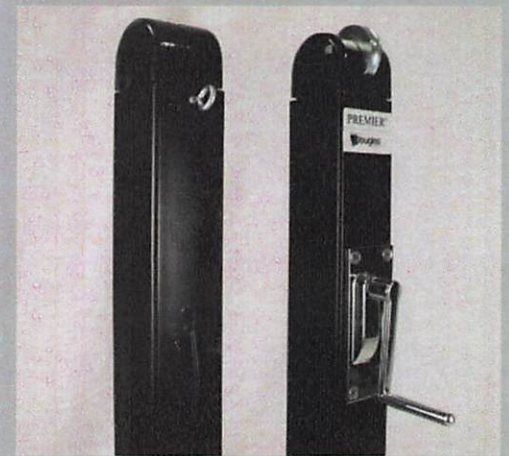
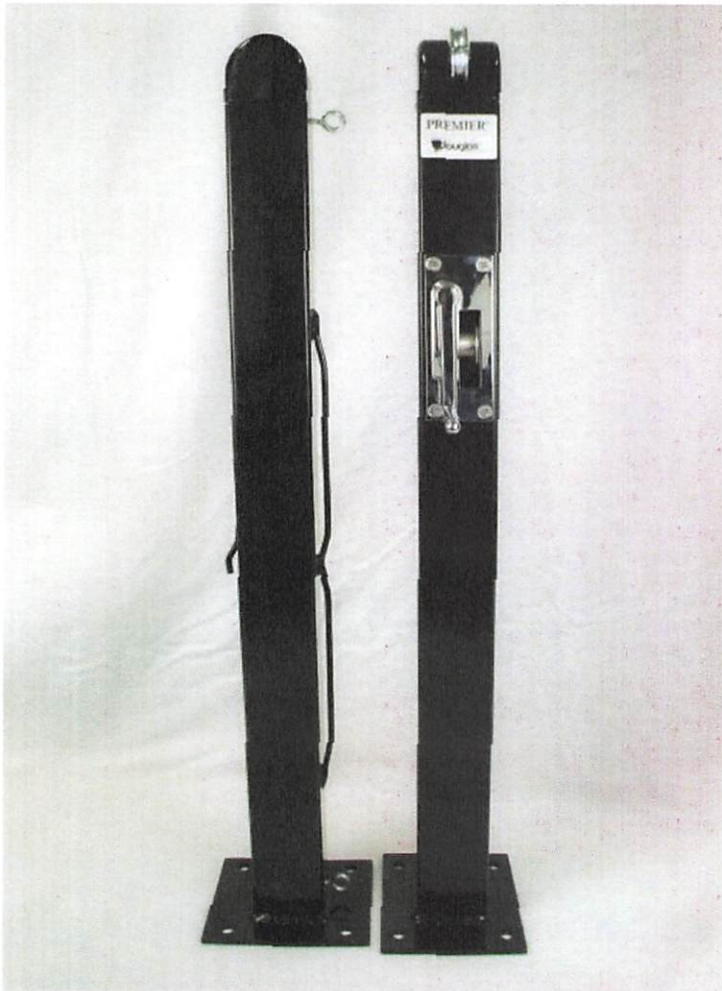
Payment schedule: 30% down with signed contract with remainder due on completion.

402-873-6334
1130 N. 58th Road • Nebraska City, NE 68410



Douglas® Pickleball Premier™ SQ Surface Mount

ITEM # 63080



SYSTEM SPECIFICATIONS

Easily convert existing tennis courts to pickleball courts with these easy-to-install surface mount posts. Posts boast all the features of the standard Premier™ SQ posts except they offer a heavy-duty bottom welded base plate to secure posts to the court's playing surface.

DIMENSIONS 36" High, 3" Square

POST AND BASE The 3" square pickleball post is constructed from heavy-duty 11-gauge steel. Post is welded to a thick base plate to secure posts to the playing surface. Systems are finished with black baked-on polyester powder coat to resist rust and increase durability. Integrated welded steel lacing rods are included for a professional net installation.

HARDWARE Internally wound featuring a self-locking gear mechanism. Gears are constructed of plated steel and the small gear is case hardened. Gear housings and caps are made of cast aluminum alloy. Gear function is 30:1 to ensure a smooth, easy operation. Flush mounted gear plate cover and removable handle are chrome plated.

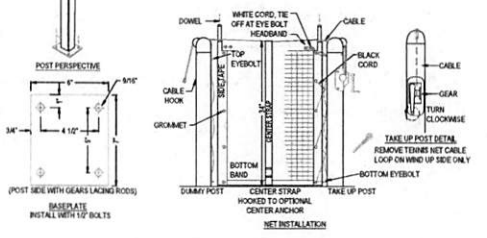
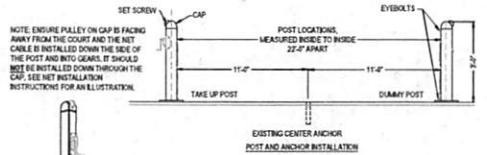
WARRANTY 5 Year Limited

1-800-553-8907
www.douglas-sports.com

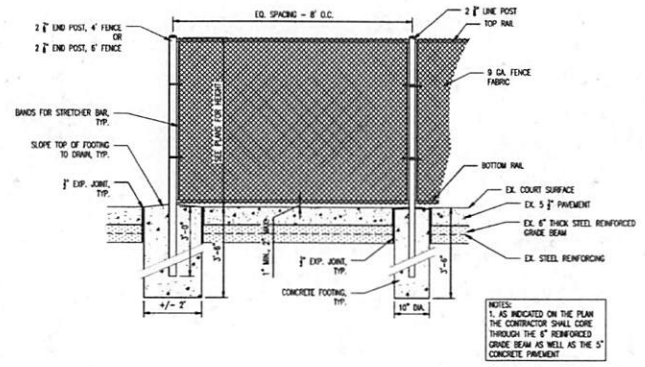
TA-HA-ZOUKA PARK
PICKLEBALL COURT IMPROVEMENTS
20828 ELKHORN DRIVE
ELKHORN, NEBRASKA

DRAWN BY:	HLB	
DESIGNED BY:	HLB	
CHECKED BY:	HLB	
DATE:	1/28/2023	
REV	DATE	DESCRIPTION

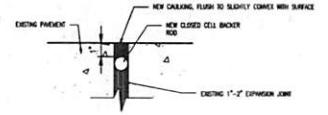
© 2019 CITY OF OMAHA
SITE DETAILS



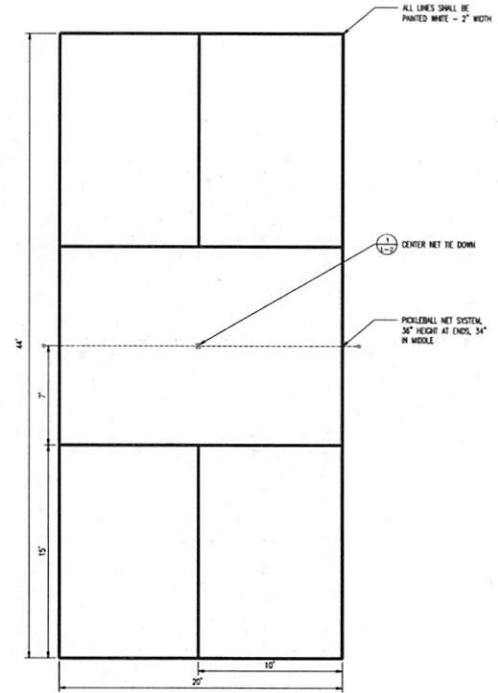
1 PICKLEBALL NET AND POST INSTALLATION, SURFACE MOUNTED
NOT TO SCALE



2 CHAIN LINK FENCE LINE POST, TYP.
NOT TO SCALE



3 EXISTING EXPANSION JOINT REPAIR
NOT TO SCALE



4 PICKLEBALL COURT LAYOUT PLAN
SCALE: 1/4" = 1'-0"



JENSEN GARDENS
INSPIRED LANDSCAPES

Jensen Gardens
20714 S Hwy 50
Springfield, NE 68059
402-253-8880 Tel
402-253-3904 Fax
estimating@jensengardens.com

4/13/2026
Proposal # 33803

City Of Springfield
Po Box 189
Springfield, NE 68059

City Park - Pickleball Court

Bench Pad 5' X 10'

Description	Quantity	Unit
5' X 10' Concrete Bench Pad	2.00	EA
		Subtotal
Subtotal Bench Pad 5' X 10'		\$1,000.00
		Tax
		\$0.00
		Subtotal With Tax
		\$1,000.00

Net/Posts

Description	Quantity	Unit
Douglas SQ 36" PB Post Set (Surface Mount)	1.00	EA
Douglas PN-30 Net w/ Center Strap	1.00	EA
		Subtotal
Subtotal Net/Posts		\$2,000.00
		Tax
		\$0.00
		Subtotal With Tax
		\$2,000.00

Alternate 6' Black Chain Link Fence w/ 5' gate

Description		Quantity	Unit
Subcontractor		176.00	LF
	Subtotal		\$10,164.00
	Tax		\$0.00
	Subtotal With Tax		\$10,164.00
	Subtotal Alt. 6' Black Chain Link Fence		

Project Specific Qualifications & Exclusions

- Court painted based on 20' X 44' standard pickleball size.
- Sales Tax is excluded from this proposal.
- Fence alternate is not included in total price.
- No private locates

This proposal is valid for 45 days after bid date.

Thank you for inviting Jensen Gardens to work on your project. Please let me know if you have any questions.

Jordan Mann
Jordan@jensengardens.com
402-505-1580

Terms & Conditions

Exclusions: Turf damage/repairs unless otherwise specified, Irrigation damages/repairs, electric dog fence damages/repairs, concrete/asphalt cracking or tire marks, Fine grading over +/- 0.1ft , Haul in/out of soils unless otherwise specified. Plumbing & electrical is not included in this proposal unless otherwise specified. Not responsible for unsuitable sub-soils

*Jensen Gardens will notify Diggers Hotline and have all public utilities marked. Jensen Gardens is not liable for unmarked or private utilities including but not limited to Septic, Well, Propane, Electric Dog Fencing, Electrical, Irrigation damages, concrete cracking or tire marks.

All Plants will be watered @ the time of installation

This Proposal may be subject to sales tax and may be withdrawn if not accepted within 30 days, final payment is due upon completion.

*1 Year Guarantee on all Trees, Shrubs, & Perennials! Warranty is limited to one replacement per plant. Guarantee does not cover Sod, Annuals, Seed, or Plant loss due to inadequate watering (Wildflowers, Grasses & Evergreens don't require as much water as lawn & other plants), animal damage, vandalism, or improper drainage.

Thank you for choosing Jensen Gardens to consult on your landscape project

- Nebraska Certified Nurserymen
- NE Licensed Arborist
- National Concrete & Masonry Association Professional Installer
- International Concrete Paver Institute Professional Installer
- BBB Honor Roll 5 years running A+ Rating

Payment is due within 30 days of invoice date. Finance charges of 1.5% per month will apply to all invoices past 30 days. After 60 days the account is considered delinquent. Customer is liable for all finance charges, collections, and legal fees. Delinquent accounts forfeit all warranties.

By: _____
Jensen Gardens _____ Date

Accepted: _____
_____ Date



DOUGLAS PREMIER® RD-36 QUICKSTART/PICKLEBALL TENNIS POSTS

SECTION 11 66 00 Athletic Equipment

PART 1 - GENERAL

1.01 WORK INCLUDED

A. Provide all equipment and materials, and do all work necessary to furnish and install the athletic equipment, as indicated on the drawings and as specified herein. Athletic equipment shall include, but not be limited to:

1. Douglas Premier® RD-36 QuickStart/Pickleball Tennis Posts

1.02 REFERENCES

A. Comply with applicable requirements of the following standards. Where these standards conflict with other specified requirements, the most restrictive requirements shall govern.

1. American Sports Builders Association (ASBA)
2. United States Tennis Association (USTA)

1.03 SUBMITTALS

A. Manufacturers Product Data

1. Provide manufacturers product data prior to actual field installation work, for Architects or Owners representatives review.

B. Shop Drawings

1. Provide drawings of the manufacturers recommended installation and foundation requirements prior to actual field installation work, for Architects or Owners representatives review.

1.04 QUALITY ASSURANCE

A. Manufacturers warranties shall pass to the Owner and certification made that the product materials meet all applicable grade trademarks or conform to industry standards and inspection requirements.

1.05 PRODUCT DELIVERY AND STORAGE

A. Materials delivered to the site shall be examined for damage or defects in shipping. Any defects shall be noted and reported to the Owners representative. Replacements, if necessary, shall be immediately re-ordered, so as to minimize any conflict with the construction schedule. Sound

materials shall be stored above ground under protective cover or indoors so as to provide proper protection.

PART 2 - PRODUCTS

2.01 Douglas Premier® RD-36 QuickStart/Pickleball Tennis Posts

A. **BASE: Douglas Premier® RD-36 QuickStart/Pickleball Tennis Posts as manufactured by:**

Douglas Industries, Inc.

3441 S. 11th Ave.

Eldridge, IA 52748

Phone: 800-553-8907

Fax: 800-443-8907

www.douglas-sports.com

B. **COMPONENTS:**

1. 3" OD Round 11 Gauge Steel
2. Internal Wind 30:1 Self Locking Gears
3. Welded Lacing Rods
4. Die-Cast Zinc Caps and Gear Housings
5. Polyester Powder Coat Finish, Available Forest Green #63070, and Black #63071
6. Recommended: Galvanized Steel Ground Sleeves, GS-24RD/ST #63424

PART 3 - EXECUTION

3.01 INSTALLATION OF EQUIPMENT

- A. All athletic equipment shall be installed as recommended with manufacturer's written directions, and as indicated on the drawings.

END OF SECTION



Legend

- | | | |
|--------------------------------------------------|---------------------------------------------------|-----------------------------------------|
| (A) lights | (M) existing structures | (Y) resurfaced playground |
| (B) reduced to 25ft apron width | (N) improved landscape screen | (Z) picnic tables |
| (C) grass apron & re-grading to improve drainage | (O) remove existing tennis court | (1) U10 soccer field |
| (D) expanded dugouts | (P) paved parking (49 spaces + 4 handicap spaces) | (2) U6/U8 soccer field |
| (E) bullpens | (Q) park entrance sign | (3) remove existing fence |
| (F) batting cage | (R) drop-off area / bus parking | (4) gate |
| (G) extend infield for U13 baseball | (S) restrooms | (5) replace Ash trees if succumb to EAB |
| (H) additional bleachers | (T) flag poles | (6) swale to reroute stormwater run-off |
| (I) shade structures | (U) scoreboard | |
| (J) remove existing restrooms & scoreboard | (V) full-size basketball court | |
| (K) improved turn-around | (W) pathway | |
| (L) "no outlet" sign at Cedar St & 4th St | (X) park shelter | |

City Park Master Plan Springfield, Nebraska

This map was prepared using information from record drawings supplied by JCO and/or applicable city, county, federal, or public or private entities. JCO does not guarantee the accuracy of this map or the information used to prepare the map. This is not a scaled plan.



0 50 100 200 Feet





SPRINGFIELD

NEBRASKA

MAYOR AND CITY COUNCIL REPORT
MAY 5, 2026 AGENDA

Agenda Item:	Subject:	Submitted By:
Regular Agenda Item 9	Consider approval of a bid for the construction of a roof over an existing material bay at the city's maintenance facility	Kathleen Gottsch City Administrator

Synopsis

Bryan Cherry, Street Commissioner, has been trying to obtain bids for the construction of a roof over two material bays at the maintenance facility. He was able to obtain a bid from Kraus Construction; however, other contractors contacted are either not interested in the job or won't return his calls. He recently reached out to Kildow Construction and is waiting on a bid from them.

The bid submitted by Kraus Construction totals \$23,813.00 and includes labor and materials for two bays: the bay immediately south of the existing covered structure (14' wide by 24' deep) and a larger bay located north of the existing structure (30' wide by 24' deep). The southern bay is proposed to match the design of the existing adjacent structure. The northern bay will include a single front opening; however, the bid does not include installation of an overhead door or walk-in doors.

The city budgeted \$45,000 for material bay improvements.

Recommendation

Council consideration.

Attachments

Bid from Kraus Construction

Kraus Construction, Inc

305 Arbor Dr
Louisville, NE 68037-6081 USA
krausmd@yahoo.com

Estimate

ADDRESS
Bryan Cherry
City of Springfield

ESTIMATE 1047
DATE 03/11/2026

SERVICE	DESCRIPTION	QTY	RATE	AMOUNT
Framing Labor and Material	Labor and material for south unit. Attach framing and cover first bay south of existing covered structure. Framing/Siding/Roofing materials and design to match the current structure. 14' wide by 24' deep Materials--\$6013 Labor--\$4000	1	10,013.00	10,013.00
Framing Labor and Material	Labor and Materials for North unit. Attach framing and cover larger bay north of existing structure. Framing/Siding/Roofing materials and design to match the current structure. 30' wide by 24' deep Single opening across the front. Does not include overhead door or walk in doors. Materials--\$8800 Labor--\$5000	1	13,800.00	13,800.00

Thank you for your business! Checks can be mailed to 305 Arbor Dr, Louisville, NE 68037.

TOTAL

\$23,813.00

Accepted By

Accepted Date



SPRINGFIELD

NEBRASKA

MAYOR AND CITY COUNCIL REPORT
MAY 5, 2026 AGENDA

Agenda Item:	Subject:	Submitted By:
Regular Agenda Item 10	Discuss a request from Vertical Bridge to amend the lease agreement for the telecommunications tower located at the city's water tower site on Platteview Road	Barb Henninger, City Clerk Kathleen Gottsch, City Administrator

Synopsis

We received a letter from Vertical Bridge requesting a reduction in the lease payment they pay to the city to have their telecommunications tower located at Buffalo Park.

The original land lease agreement for this tower was entered into back in 2014 with Verizon. The initial rental term was for five years. The agreement is allowed to automatically extend for four (4) additional five (5) year terms unless the telecom company terminates the agreement at the end of the then current term by giving the city notice of its intent to terminate at least six (6) months prior to the end of the then current term.

Verizon originally paid the city a one-time fee in the amount of \$20,000.00 for the lease in addition to annual rent of \$24,000.00 paid in equal monthly installments. Per the agreement, rent increases annually in the amount of 2%.

In 2025, Vertical Bridge acquired this lease from Verizon. The city is currently receiving \$2,486.75 per month for rent.

The city recently received correspondence from Vertical Bridge requesting to amend the financial terms of the lease stating that this location is operating at a negative cash flow, and is not positioned for long-term sustainability.

Vertical Bridge is proposing two options for your consideration.

Option 1

- Reduce rent from \$29,255.87 per year to \$20,400.00 per year
- Reduce the escalator from 2% annually to 1.5% annually
- Add three (3) additional five (5) year terms, through June 30, 2054

Note: The annual figure quoted in their option is a different amount than what Verizon is currently paying the city. The current annual amount is \$29,841.00.

Option 2

\$175,500.00 lump sum payment in lieu of monthly rent

**This is just shy of 6 years at the current annual rental rate.*

Comments from Bill Seidler, Jr., City Attorney:

- The financial risk of not agreeing to the rent reduction is the possibility of the City losing the rent income stream if the tenant terminates.
- The tenant has offered to extend the lease term at a reduced rate and an extended term.
- The tenant has offered an alternative lump-sum cash buyout. The tenant does not state if the cash payment is tied to the current lease term or some other extended lease term.
- There is the question about whether the tenant has other options to locate a new tower in the area around Springfield.
- As there is additional real estate development in the area the tenant may find greater traffic on its tower.

Recommendation

Council consideration.

Attachments

Email and Letter from Vertical Bridge
Original Land Lease Agreement w/ Verizon



April 21st, 2026

City of Springfield
305 S 6th St.
Springfield, NE 68059

Subject: Vertical Bridge Site #: US-NE-5306

Dear Barb,

Vertical Bridge, the owner or manager of the cell tower on your property ("Tower"), is working with Tower Alliance to discuss the need to modify the current Tower lease. Our goal is to arrive at a mutually agreeable alternative to the current lease arrangement that will provide the necessary improvement to the economics of the Tower Site, help sustain its longevity and enhance its value to our customer's networks. Please know that Vertical Bridge very much appreciates the relationship we currently have with you and that we want to remain your tenant for as long as possible.

Recent Industry Developments: Currently, while many consumers are enjoying greater service and better coverage, increased operating costs have come under greater scrutiny. As the carriers streamline operations and look for ways to optimize individual tower sites, it is changing how infrastructure is owned, managed, and leased.

As a result of these developments, there is a need to adjust the financial terms of the Lease. Below are two options that can help assure the longevity and improve the marketability of the Tower:

Option 1:

- Reduce rent from \$29,255.87 per year to \$20,400.00 per year
- Reduce the escalator from 2%/annual to 1.5%/annual
- Add three (3) additional five (5) year terms, through June 30, 2054

OR

Option 2:

- \$175,500.00 lump sum payment in lieu of monthly rent

I look forward to talking with you in the coming days, after you've had an opportunity to review this important letter and consider the two options available. Once you have completed your review, please reach out to me at my contact information listed below so that we can review any questions or concerns you may have. I look forward to speaking with you. In the event I don't hear from you within 10 days of the date of this letter, I'll reach out to you to schedule a call.

Sincerely,

Sabrina Gonzalez
Tower Alliance LLC
An authorized vendor of Vertical Bridge and its subsidiaries and affiliates
Ph# (754) 354-0019
Email: sgonzalez@toweralliancellc.com

The contents of this communication are confidential and proprietary, may be privileged and should be read or retained only by the intended recipient. If you have received this communication in error, you may not review, disclose, copy or use its contents and are requested to notify us of your receipt immediately by return communication and to delete/destroy this entire message from your records. This communication is not an offer, reservation, or option, but is rather for discussion purposes only. These terms are subject to additional review and approval by authorized representatives of Landlord and Tenant or Purchaser and Seller. Until written instruments documenting a final agreement are completed, signed and delivered, no party shall be bound and all parties are free to change or withdraw any of the terms described in this communication in their sole discretion.

RE: Vertical Bridge Tower Contract: US-NE-5306

From Sabrina Gonzalez <sgonzalez@toweralliancellc.com>

Date Tue 4/21/2026 2:00 PM

To Barb Henninger <barb@springfieldne.org>

 1 attachment (256 KB)

US-NE-5306 Offer Letter.pdf;

External Sender - From: (Sabrina Gonzalez
<sgonzalez@toweralliancellc.com>)

[Learn More](#)

This message came from outside your organization.

Good Afternoon Barb,

Thank you for reaching out. This matter has been escalated to my desk for further discussion. As you may be aware, Vertical Bridge acquired the rights to manage over 6,000 Verizon sites at the end of 2024, including yours. This portfolio included a range of site conditions, some operating efficiently and others requiring additional attention. At this time, your site falls into the latter category.

Currently, the site is operating at a negative cash flow. This means that Vertical Bridge is paying more in rent and operating expenses than we are receiving from Verizon. As structured today, the site is not positioned for long-term sustainability.

To address this, I have attached the offer letter with two options intended to improve the financial performance of the tower. These options are designed to strengthen the partnership between your organization and Vertical Bridge while supporting long-term revenue stability for all parties.

We kindly ask that you review the attached offer letter so we may continue the discussion and determine a mutually beneficial path forward.

Thank you for your time and consideration.

All the best,

Sabrina Gonzalez

Lease Consultant

Tower Alliance LLC

1700 South Dixie Highway, Suite 402

Boca Raton, FL 33432

(754) 354-0019 – Office

(866) 236-1216 – Fax

LAND AND BUILDING LEASE AGREEMENT

This Agreement, made this 30th day of April, 2014 between the City of Springfield, a Nebraska municipal corporation, with its principal offices located at 170 North 3rd Street, P.O. Box 189, Springfield, Nebraska 68059 (telephone number 402-253-2204), hereinafter designated LESSOR and Omaha Cellular Telephone Company d/b/a Verizon Wireless, with its principal office located at One Verizon Way, Mail Stop 4AW100, Basking Ridge, New Jersey 07920 (telephone number 866-862-4404), hereinafter designated LESSEE. The LESSOR and LESSEE are at times collectively referred to hereinafter as the "Parties" or individually as the "Party".

1. PREMISES. LESSOR hereby leases to LESSEE a portion of that certain parcel of property (the entirety of LESSOR's property is referred to hereinafter as the Property and legally described in Exhibit "A"), located at 305 South 6th Street, Springfield, Sarpy County, Nebraska, which portion consists of (i) approximately 12'-3" by 30' square feet of interior space ("Interior Space") of the building ("Building") located at the Property (said Building to be constructed by LESSEE as discussed herein); and (ii) approximately 859 square feet of land space (the "Land Space"), together with the non-exclusive right (the "Ingress Right of Way") for ingress and egress on foot or motor vehicle, from a public right-of-way, seven (7) days a week twenty-four (24) hours a day, over the Property and in and through the Building to and from the Premises (as hereinafter defined) for the purpose of installation, operation and maintenance of LESSEE's communications equipment; together with the right and sufficient space for the installation and maintenance of wires, cables, fiber optic cables and pipes (the "Cabling Space") running between the Interior Space and the Land Space; and the right to install, maintain, replace and repair wires, cables, conduits, fiber optic cables and pipes over, under and along a twenty foot (20') wide right-of-way ("Utilities Right of Way") extending from the nearest public right-of-way, South 6th Street, to the Land Space. The Interior Space, Land Space, Ingress Right of Way, Cabling Space and Utilities Right of Way are hereinafter collectively referred to as the "Premises" and are legally described in Exhibit "A" and shown on Exhibit "B" attached hereto and made a part hereof. The Property is also shown on the Tax Map of the City of Springfield as Parcel No. 010764771.

In the event any public utility is unable to use the Rights of Way, the LESSOR hereby agrees to grant an additional right-of-way either to the LESSEE or to the public utility at no cost to the LESSEE.

2. SURVEY. LESSOR also hereby grants to LESSEE the right to survey the Property and the Premises, and said survey shall then become Exhibit "C" which shall be attached hereto and made a part hereof, and shall control in the event of boundary and access discrepancies between it and Exhibit "B". Cost for such work shall be borne by the LESSEE.

3. TERM; RENTAL.

a. This Agreement shall be effective as of the date of execution by both Parties, provided, however, the initial term shall be for five (5) years and shall commence on the Commencement Date (as hereinafter defined) at which time rental payments shall commence and be due at a total annual rental of Twenty Four Thousand and 00/100 Dollars (\$24,000.00) to be paid in equal monthly installments on the first day of the month, in advance, to LESSOR or to such other person, firm or place as LESSOR may, from time to time, designate in writing at least thirty (30) days in advance of any rental payment date by notice given in accordance with Paragraph 23 below. The Agreement shall commence based upon the date LESSEE commences installation of the equipment on the Premises, or on the first day of July, 2014, whichever occurs first. In the event the date of commencing installation of equipment is determinative and such date falls between the 1st and 15th of the month, the Agreement shall commence on the 1st of that month and if such date falls between the 16th and 31st of the month, then the Agreement shall commence on the 1st day of the following month (either of the foregoing or July 1, 2014, if applicable, being the "Commencement Date"). LESSOR and LESSEE agree that they shall acknowledge in writing the Commencement Date in the event the Commencement Date is based upon the date LESSEE commences installation of the equipment on the Premises. In the event the Commencement Date is the fixed date set forth above, there shall be no written acknowledgement required. LESSOR and LESSEE acknowledge and agree that initial rental payment(s) shall not actually be sent by LESSEE until thirty (30) days after the Commencement Date or after a written acknowledgement confirming the Commencement Date, if such an acknowledgement is required. By way of illustration of the preceding sentence, if the Commencement Date is January 1 and no written acknowledgement confirming the Commencement Date is required, LESSEE shall send to the LESSOR the rental payments for January 1 and February 1 by February 1, and if the Commencement Date is January 1 and a required written acknowledgement confirming the Commencement Date is dated January 14, LESSEE shall send to the LESSOR the rental payments for January 1 and February 1 by February 13.

Upon agreement of the Parties, LESSEE may pay rent by electronic funds transfer and in such event, LESSOR agrees to provide to LESSEE bank routing information for such purpose upon request of LESSEE.

b. As additional consideration for this Agreement, LESSEE further agrees to pay to LESSOR as a capital contribution, a one-time fee in the amount of Twenty Thousand and 00/100 Dollars (\$20,000.00) ("Additional Payment"), which shall be due and payable forty-five (45) days from the date of execution of this Agreement by the Parties and which shall be non-refundable.

c. LESSOR hereby agrees to provide to LESSEE certain documentation (the "Rental Documentation") evidencing LESSOR's interest in, and right to receive payments under, this Agreement, including without limitation: (i) documentation, acceptable to LESSEE in LESSEE's reasonable discretion, evidencing LESSOR's good and sufficient title to and/or interest in the Property and right to receive rental payments and other benefits hereunder; (ii) a complete and fully executed Internal Revenue Service Form W-9, or equivalent, in a form

acceptable to LESSEE, for any party to whom rental payments are to be made pursuant to this Agreement; and (iii) other documentation requested by LESSEE in LESSEE's reasonable discretion. From time to time during the Term of this Agreement and within thirty (30) days of a written request from LESSEE, LESSOR agrees to provide updated Rental Documentation in a form reasonably acceptable to LESSEE. The Rental Documentation shall be provided to LESSEE in accordance with the provisions of and at the address given in Paragraph 23. Delivery of Rental Documentation to LESSEE shall be a prerequisite for the payment of any rent by LESSEE and notwithstanding anything to the contrary herein, LESSEE shall have no obligation to make any rental payments until Rental Documentation has been supplied to LESSEE as provided herein.

Within fifteen (15) days of obtaining an interest in the Property or this Agreement, any assignee(s), transferee(s) or other successor(s) in interest of LESSOR shall provide to LESSEE Rental Documentation in the manner set forth in the preceding paragraph. From time to time during the Term of this Agreement and within thirty (30) days of a written request from LESSEE, any assignee(s) or transferee(s) of LESSOR agrees to provide updated Rental Documentation in a form reasonably acceptable to LESSEE. Delivery of Rental Documentation to LESSEE by any assignee(s), transferee(s) or other successor(s) in interest of LESSOR shall be a prerequisite for the payment of any rent by LESSEE to such party and notwithstanding anything to the contrary herein, LESSEE shall have no obligation to make any rental payments to any assignee(s), transferee(s) or other successor(s) in interest of LESSOR until Rental Documentation has been supplied to LESSEE as provided herein.

4. EXTENSIONS. This Agreement shall automatically be extended for four (4) additional five (5) year terms unless LESSEE terminates it at the end of the then current term by giving LESSOR written notice of the intent to terminate at least six (6) months prior to the end of the then current term.

5. EXTENSION RENTALS. The annual rental shall increase on each anniversary of the Commencement Date by an amount equal to two percent (2%) of rent for the previous lease year.

6. ADDITIONAL EXTENSIONS. If at the end of the fourth (4th) five (5) year extension term this Agreement has not been terminated by either Party by giving to the other written notice of an intention to terminate it at least three (3) months prior to the end of such term, this Agreement shall continue in force upon the same covenants, terms and conditions for a further term of five (5) years and for five (5) year terms thereafter until terminated by either Party by giving to the other written notice of its intention to so terminate at least three (3) months prior to the end of such term. Annual rental for each such additional five (5) year term shall be equal to the annual rental payable with respect to the immediately preceding five (5) year term. The initial term and all extensions shall be collectively referred to herein as the "Term".

7. TAXES. LESSEE shall have the responsibility to pay any personal property, real estate taxes, assessments, or charges owed on the Property which LESSOR demonstrates is the result of LESSEE's use of the Premises and/or the installation, maintenance, and operation of the LESSEE's improvements, and any sales tax imposed on the rent (except to the extent that LESSEE is or may become exempt from the payment of sales tax in the jurisdiction in which the

Property is located), including any increase in real estate taxes at the Property which LESSOR demonstrates arises from the LESSEE's improvements and/or LESSEE's use of the Premises. LESSOR and LESSEE shall each be responsible for the payment of any taxes, levies, assessments and other charges imposed including franchise and similar taxes imposed upon the business conducted by LESSOR or LESSEE at the Property. Notwithstanding the foregoing, LESSEE shall not have the obligation to pay any tax, assessment, or charge that LESSEE is disputing in good faith in appropriate proceedings prior to a final determination that such tax is properly assessed provided that no lien attaches to the Property. Nothing in this Paragraph shall be construed as making LESSEE liable for any portion of LESSOR's income taxes in connection with any Property or otherwise. Except as set forth in this Paragraph, LESSOR shall have the responsibility to pay any personal property, real estate taxes, assessments, or charges owed on the Property and shall do so prior to the imposition of any lien on the Property.

LESSEE shall have the right, at its sole option and at its sole cost and expense, to appeal, challenge or seek modification of any tax assessment or billing for which LESSEE is wholly or partly responsible for payment. LESSOR shall reasonably cooperate with LESSEE at LESSEE's expense in filing, prosecuting and perfecting any appeal or challenge to taxes as set forth in the preceding sentence, including but not limited to, executing any consent, appeal or other similar document. In the event that as a result of any appeal or challenge by LESSEE, there is a reduction, credit or repayment received by the LESSOR for any taxes previously paid by LESSEE, LESSOR agrees to promptly reimburse to LESSEE the amount of said reduction, credit or repayment. In the event that LESSEE does not have the standing rights to pursue a good faith and reasonable dispute of any taxes under this paragraph, LESSOR will pursue such dispute at LESSEE's sole cost and expense upon written request of LESSEE.

8. USE; GOVERNMENTAL APPROVALS. LESSEE shall use the Premises for the purpose of constructing, maintaining, repairing and operating a communications facility and uses incidental thereto. A security fence consisting of chain link construction or similar but comparable construction may be placed around the perimeter of the Premises at the discretion of LESSEE (not including the access easement). All improvements, equipment, antennas and conduits shall be at LESSEE's expense and their installation shall be at the discretion and option of LESSEE. LESSEE shall construct all improvements on the Premises in accordance with the plans and specifications shown on Exhibit "B" attached hereto and incorporated herein. LESSEE shall have the right to replace, repair, add or otherwise modify its utilities, equipment, antennas and/or conduits or any portion thereof and the frequencies over which the equipment operates, whether the equipment, antennas, conduits or frequencies are specified or not on any exhibit attached hereto, during the Term. It is understood and agreed that LESSEE's ability to use the Premises is contingent upon its obtaining after the execution date of this Agreement all of the certificates, permits and other approvals (collectively the "Governmental Approvals") that may be required by any Federal, State or Local authorities as well as satisfactory soil boring tests which will permit LESSEE use of the Premises as set forth above. LESSOR shall cooperate with LESSEE in its effort to obtain such approvals and shall take no action which would adversely affect the status of the Property with respect to the proposed use thereof by LESSEE; however, LESSOR does not agree to waive any rights to its governmental review of all plans and applications of LESSEE. LESSEE agrees to comply with all application and zoning requirements of the City of Springfield's Zoning Ordinance,

Section 7.16 "Telecommunication Towers." In the event that (i) any of such applications for such Governmental Approvals should be finally rejected; (ii) any Governmental Approval issued to LESSEE is canceled, expires, lapses, or is otherwise withdrawn or terminated by governmental authority; (iii) LESSEE determines that such Governmental Approvals may not be obtained in a timely manner; (iv) LESSEE determines that any soil boring tests are unsatisfactory; (v) LESSEE determines that the Premises is no longer technically compatible for its use, or (vi) LESSEE, in its sole discretion, determines that the use the Premises is obsolete or unnecessary, LESSEE shall have the right to terminate this Agreement. Notice of LESSEE's exercise of its right to terminate shall be given to LESSOR in writing by certified mail, return receipt requested, and shall be effective upon the mailing of such notice by LESSEE, or upon such later date as designated by LESSEE. All rentals paid to said termination date shall be retained by LESSOR. Upon such termination, this Agreement shall be of no further force or effect except to the extent of the representations, warranties and indemnities made by each Party to the other hereunder. Otherwise, the LESSEE shall have no further obligations for the payment of rent to LESSOR.

9. INDEMNIFICATION. Subject to Paragraph 10 below, each Party shall indemnify and hold the other harmless against any claim of liability or loss from personal injury or property damage resulting from or arising out of the negligence or willful misconduct of the indemnifying Party, its employees, contractors or agents, except to the extent such claims or damages may be due to or caused by the negligence or willful misconduct of the other Party, or its employees, contractors or agents.

10. INSURANCE.

a. The Parties hereby waive and release any and all rights of action for negligence against the other which may hereafter arise on account of damage to the Premises or to the Property, resulting from any fire, or other casualty of the kind covered by standard fire insurance policies with extended coverage, regardless of whether or not, or in what amounts, such insurance is now or hereafter carried by the Parties, or either of them. These waivers and releases shall apply between the Parties and they shall also apply to any claims under or through either Party as a result of any asserted right of subrogation. All such property policies of insurance obtained by either Party concerning the Premises or the Property shall waive the insurer's right of subrogation against the other Party.

b. LESSOR and LESSEE each agree that at its own cost and expense, each will maintain commercial general liability insurance with limits not less than \$1,000,000 for injury to or death of one or more persons in any one occurrence and \$500,000 for damage or destruction to property in any one occurrence. LESSEE agrees to name LESSOR as an additional insured as their interest may appear on a Primary and Non-Contributory basis. LESSEE's certificates of insurance to LESSOR shall also provide evidence of Workers Compensation in compliance with the statutory requirements of the state of operation and Automobile Insurance coverage with a limit of no less than \$1,000,000.

11. LIMITATION OF LIABILITY. Except for indemnification pursuant to Paragraphs 9 and 29, neither Party shall be liable to the other, or any of their respective agents, representatives, employees for any lost revenue, lost profits, loss of technology, rights or

services, incidental, punitive, indirect, special or consequential damages, loss of data, or interruption or loss of use of service, even if advised of the possibility of such damages, whether under theory of contract, tort (including negligence), strict liability or otherwise.

12. ANNUAL TERMINATION. Notwithstanding anything to the contrary contained herein, provided LESSEE is not in default hereunder beyond applicable notice and cure periods, LESSEE shall have the right to terminate this Agreement upon the annual anniversary of the Commencement Date provided that six (6) months prior notice is given to LESSOR.

13. INTERFERENCE. LESSEE agrees to install equipment of the type and frequency which will not cause harmful interference which is measurable in accordance with then existing industry standards to any equipment of LESSOR or other lessees of the Property which existed on the Property prior to the date this Agreement is executed by the Parties. In the event any after-installed LESSEE's equipment causes such interference, and after LESSOR has notified LESSEE in writing of such interference, LESSEE will take all commercially reasonable steps necessary to correct and eliminate the interference, including but not limited to, at LESSEE's option, powering down such equipment and later powering up such equipment for intermittent testing. In no event will LESSOR be entitled to terminate this Agreement or relocate the equipment as long as LESSEE is making a good faith effort to remedy the interference issue. LESSOR agrees that LESSOR and/or any other tenants of the Property who currently have or in the future take possession of the Property will be permitted to install only such equipment that is of the type and frequency which will not cause harmful interference which is measurable in accordance with then existing industry standards to the then existing equipment of LESSEE. The Parties acknowledge that there will not be an adequate remedy at law for noncompliance with the provisions of this Paragraph and therefore, either Party shall have the right to equitable remedies, such as, without limitation, injunctive relief and specific performance.

14. REMOVAL AT END OF TERM. LESSEE shall, upon expiration of the Term, or within ninety (90) days after any earlier termination of the Agreement, remove its antenna structure(s), including footings to three feet (3') below grade, equipment, conduits, fixtures and all personal property and restore the Premises to its original condition, reasonable wear and tear and casualty damage excepted. The Parties agree that the Building shall be transferred to LESSOR pursuant to Paragraph 40 herein. LESSOR agrees and acknowledges that all of the equipment, conduits, fixtures and personal property of LESSEE shall remain the personal property of LESSEE and LESSEE shall have the right to remove the same at any time during the Term, whether or not said items are considered fixtures and attachments to real property under applicable Laws (as defined in Paragraph 33 below). If such time for removal causes LESSEE to remain on the Premises after termination of this Agreement, LESSEE shall pay rent at the then existing monthly rate or on the existing monthly pro-rata basis if based upon a longer payment term, until such time as the removal of the building, antenna structure, fixtures and all personal property are completed.

15. HOLDOVER. LESSEE has no right to retain possession of the Premises or any part thereof beyond the expiration of that removal period set forth in Paragraph 14 herein, unless the Parties are negotiating a new lease or lease extension in good faith. In the event that the Parties

are not in the process of negotiating a new lease or lease extension in good faith, LESSEE holds over in violation of Paragraph 14 and this Paragraph 15, then the rent then in effect payable from and after the time of the expiration or earlier removal period set forth in Paragraph 14 shall equal to the rent applicable during the month immediately preceding such expiration or earlier termination.

16. RIGHT OF FIRST REFUSAL. If LESSOR elects, during the Term (i) to sell or otherwise transfer all or any portion of the Property, whether separately or as part of a larger parcel of which the Property is a part, or (ii) to grant to a third party by easement or other legal instrument an interest in and to that portion of the Property occupied by LESSEE, or a larger portion thereof, for the purpose of operating and maintaining communications facilities or the management thereof, with or without an assignment of this Agreement to such third party, LESSEE shall have the right of first refusal to meet any bona fide offer of sale or transfer on the same terms and conditions of such offer. If LESSEE fails to meet such bona fide offer within thirty (30) days after written notice thereof from LESSOR, LESSOR may sell or grant the easement or interest in the Property or portion thereof to such third person in accordance with the terms and conditions of such third party offer. For purposes of this Paragraph, any transfer, bequest or devise of LESSOR's interest in the Property as a result of the death of LESSOR, whether by will or intestate succession, or any conveyance to LESSOR's family members by direct conveyance or by conveyance to a trust for the benefit of family members shall not be considered a sale of the Property for which LESSEE has any right of first refusal.

17. RIGHTS UPON SALE. Should LESSOR, at any time during the Term decide (i) to sell or transfer all or any part of the Property to a purchaser other than LESSEE, or (ii) to grant to a third party by easement or other legal instrument an interest in and to that portion of the Property occupied by LESSEE, or a larger portion thereof, for the purpose of operating and maintaining communications facilities or the management thereof, such sale or grant of an easement or interest therein shall be under and subject to this Agreement and any such purchaser or transferee shall recognize LESSEE's rights hereunder under the terms of this Agreement. To the extent that LESSOR grants to a third party by easement or other legal instrument an interest in and to that portion of the Property occupied by LESSEE for the purpose of operating and maintaining communications facilities or the management thereof and in conjunction therewith, assigns this Agreement to said third party, LESSOR shall not be released from its obligations to LESSEE under this Agreement, and LESSEE shall have the right to look to LESSOR and the third party for the full performance of this Agreement.

18. QUIET ENJOYMENT. LESSOR covenants that LESSEE, on paying the rent and performing the covenants herein, shall peaceably and quietly have, hold and enjoy the Premises. The Parties acknowledge and agree that the Property is used by LESSOR as a park. LESSEE agrees that its installation, maintenance and operation of its communications facility will not unreasonably interfere with any existing use of the Property as a park.

19. TITLE. LESSOR represents and warrants to LESSEE as of the execution date of this Agreement, and covenants during the Term that LESSOR is seized of good and sufficient title and interest to the Property and has full authority to enter into and execute this Agreement.

LESSOR further covenants during the Term that there are no liens, judgments or impediments of title on the Property, or affecting LESSOR's title to the same and that there are no covenants, easements or restrictions which prevent or adversely affect the use or occupancy of the Premises by LESSEE as set forth above.

20. INTEGRATION. It is agreed and understood that this Agreement contains all agreements, promises and understandings between LESSOR and LESSEE and that no verbal or oral agreements, promises or understandings shall be binding upon either LESSOR or LESSEE in any dispute, controversy or proceeding at law, and any addition, variation or modification to this Agreement shall be void and ineffective unless made in writing signed by the Parties or in a written acknowledgment in the case provided in Paragraph 3. In the event any provision of the Agreement is found to be invalid or unenforceable, such finding shall not affect the validity and enforceability of the remaining provisions of this Agreement. The failure of either Party to insist upon strict performance of any of the terms or conditions of this Agreement or to exercise any of its rights under the Agreement shall not waive such rights and such Party shall have the right to enforce such rights at any time and take such action as may be lawful and authorized under this Agreement, in law or in equity.

21. GOVERNING LAW. This Agreement and the performance thereof shall be governed, interpreted, construed and regulated by the Laws of the State in which the Property is located.

22. ASSIGNMENT. This Agreement may be sold, assigned or transferred by the LESSEE without any approval or consent of the LESSOR to the LESSEE's principal, affiliates, subsidiaries of its principal or to any entity which acquires all or substantially all of LESSEE's assets in the market defined by the Federal Communications Commission in which the Property is located by reason of a merger, acquisition or other business reorganization. As to other parties, this Agreement may not be sold, assigned or transferred without the written consent of the LESSOR, which such consent will not be unreasonably withheld, delayed or conditioned. No change of stock ownership, partnership interest or control of LESSEE or transfer upon partnership or corporate dissolution of LESSEE shall constitute an assignment hereunder. LESSEE may sublet the Premises within its sole discretion, upon notice to LESSOR. Any sublease that is entered into by LESSEE shall be subject to the provisions of this Agreement and shall be binding upon the successors, assigns, heirs and legal representatives of the respective Parties hereto.

23. NOTICES. All notices hereunder must be in writing and shall be deemed validly given if sent by certified mail, return receipt requested or by commercial courier, provided the courier's regular business is delivery service and provided further that it guarantees delivery to the addressee by the end of the next business day following the courier's receipt from the sender, addressed as follows (or any other address that the Party to be notified may have designated to the sender by like notice):

LESSOR: City of Springfield
P.O. Box 189
170 North 3rd Street
Springfield, Nebraska 68059
Attention: Kathleen Gottsch, City Clerk

LESSEE: Omaha Cellular Telephone Company
d/b/a Verizon Wireless
180 Washington Valley Road
Bedminster, New Jersey 07921
Attention: Network Real Estate

Notice shall be effective upon actual receipt or refusal as shown on the receipt obtained pursuant to the foregoing.

24. SUCCESSORS. This Agreement shall extend to and bind the heirs, personal representative, successors and assigns of the Parties hereto.

25. INTENTIONALLY OMITTED.

26. RECORDING. LESSOR agrees to execute a Memorandum of this Agreement which LESSEE may record with the appropriate recording officer. The date set forth in the Memorandum of Lease is for recording purposes only and bears no reference to commencement of either the Term or rent payments.

27. DEFAULT.

a. In the event there is a breach by LESSEE with respect to any of the provisions of this Agreement or its obligations under it, including the payment of rent, LESSOR shall give LESSEE written notice of such breach. After receipt of such written notice, LESSEE shall have fifteen (15) days in which to cure any monetary breach and thirty (30) days in which to cure any non-monetary breach, provided LESSEE shall have such extended period as may be required beyond the thirty (30) days if the nature of the cure is such that it reasonably requires more than thirty (30) days and LESSEE commences the cure within the thirty (30) day period and thereafter continuously and diligently pursues the cure to completion. LESSOR may not maintain any action or effect any remedies for default against LESSEE unless and until LESSEE has failed to cure the breach within the time periods provided in this Paragraph.

b. In the event there is a breach by LESSOR with respect to any of the provisions of this Agreement or its obligations under it, LESSEE shall give LESSOR written notice of such breach. After receipt of such written notice, LESSOR shall have thirty (30) days in which to cure any such breach, provided LESSOR shall have such extended period as may be required beyond the thirty (30) days if the nature of the cure is such that it reasonably requires more than thirty (30) days and LESSOR commences the cure within the thirty (30) day period and thereafter continuously and diligently pursues the cure to completion. LESSEE may not maintain any action or effect any remedies for default against LESSOR unless and until LESSOR

has failed to cure the breach within the time periods provided in this Paragraph. Notwithstanding the foregoing to the contrary, it shall be a default under this Agreement if LESSOR fails, within five (5) days after receipt of written notice of such breach, to perform an obligation required to be performed by LESSOR if the failure to perform such an obligation interferes with LESSEE's ability to conduct its business on the Property; provided, however, that if the nature of LESSOR's obligation is such that more than five (5) days after such notice is reasonably required for its performance, then it shall not be a default under this Agreement if performance is commenced within such five (5) day period and thereafter diligently pursued to completion.

28. REMEDIES. Upon a default, the non-defaulting Party may at its option (but without obligation to do so), perform the defaulting Party's duty or obligation on the defaulting Party's behalf, including but not limited to the obtaining of reasonably required insurance policies. The costs and expenses of any such performance by the non-defaulting Party shall be due and payable by the defaulting Party upon invoice therefor. In the event of a default by either Party with respect to a material provision of this Agreement, without limiting the non-defaulting Party in the exercise of any right or remedy which the non-defaulting Party may have by reason of such default, the non-defaulting Party may terminate the Agreement and/or pursue any remedy now or hereafter available to the non-defaulting Party under the Laws or judicial decisions of the state in which the Premises are located; provided, however, LESSOR shall use reasonable efforts to mitigate its damages in connection with a default by LESSEE. If LESSEE so performs any of LESSOR's obligations hereunder, the full amount of the reasonable and actual cost and expense incurred by LESSEE shall immediately be owing by LESSOR to LESSEE, and LESSOR shall pay to LESSEE upon demand the full undisputed amount thereof with interest thereon from the date of payment at the greater of (i) ten percent (10%) per annum, or (ii) the highest rate permitted by applicable Laws. Notwithstanding the foregoing, if LESSOR does not pay LESSEE the full undisputed amount within thirty (30) days of its receipt of an invoice setting forth the amount due from LESSOR, LESSEE may offset the full undisputed amount, including all accrued interest, due against all fees due and owing to LESSOR until the full undisputed amount, including all accrued interest, is fully reimbursed to LESSEE.

29. ENVIRONMENTAL.

a. LESSOR will be responsible for all obligations of compliance with any and all environmental and industrial hygiene laws, including any regulations, guidelines, standards, or policies of any governmental authorities regulating or imposing standards of liability or standards of conduct with regard to any environmental or industrial hygiene conditions or concerns as may now or at any time hereafter be in effect, that are or were in any way related to activity now conducted in, on, or in any way related to the Property, unless such conditions or concerns are caused by the specific activities of LESSEE in the Premises.

b. LESSOR shall hold LESSEE harmless and indemnify LESSEE from and assume all duties, responsibility and liability at LESSOR's sole cost and expense, for all duties, responsibilities, and liability (for payment of penalties, sanctions, forfeitures, losses, costs, or damages) and for responding to any action, notice, claim, order, summons, citation, directive, litigation, investigation or proceeding which is in any way related to: a) failure to comply with

any environmental or industrial hygiene law, including without limitation any regulations, guidelines, standards, or policies of any governmental authorities regulating or imposing standards of liability or standards of conduct with regard to any environmental or industrial hygiene concerns or conditions as may now or at any time hereafter be in effect, unless such non-compliance results from conditions caused by LESSEE; and b) any environmental or industrial hygiene conditions arising out of or in any way related to the condition of the Property or activities conducted thereon, unless such environmental conditions are caused by LESSEE.

30. CASUALTY. In the event of damage by fire or other casualty to the Premises that cannot reasonably be expected to be repaired within forty-five (45) days following same or, if the Property is damaged by fire or other casualty so that such damage may reasonably be expected to disrupt LESSEE's operations at the Premises for more than forty-five (45) days, then LESSEE may, at any time following such fire or other casualty, provided LESSOR has not completed the restoration required to permit LESSEE to resume its operation at the Premises, terminate this Agreement upon fifteen (15) days prior written notice to LESSOR. Any such notice of termination shall cause this Agreement to expire with the same force and effect as though the date set forth in such notice were the date originally set as the expiration date of this Agreement and the Parties shall make an appropriate adjustment, as of such termination date, with respect to payments due to the other under this Agreement. Notwithstanding the foregoing, the rent shall abate during the period of repair following such fire or other casualty in proportion to the degree to which LESSEE's use of the Premises is impaired.

31. CONDEMNATION. In the event of any condemnation of all or any portion of the Property, this Agreement shall terminate as to the part so taken as of the date the condemning authority takes title or possession, whichever occurs first. If as a result of a partial condemnation of the Premises or Property, LESSEE, in LESSEE's sole discretion, is unable to use the Premises for the purposes intended hereunder, or if such condemnation may reasonably be expected to disrupt LESSEE's operations at the Premises for more than forty-five (45) days, LESSEE may, at LESSEE's option, to be exercised in writing within fifteen (15) days after LESSOR shall have given LESSEE written notice of such taking (or in the absence of such notice, within fifteen (15) days after the condemning authority shall have taken possession) terminate this Agreement as of the date the condemning authority takes such possession. LESSEE may on its own behalf make a claim in any condemnation proceeding involving the Premises for losses related to the equipment, conduits, fixtures, its relocation costs and its damages and losses (but not for the loss of its leasehold interest). Any such notice of termination shall cause this Agreement to expire with the same force and effect as though the date set forth in such notice were the date originally set as the expiration date of this Agreement and the Parties shall make an appropriate adjustment as of such termination date with respect to payments due to the other under this Agreement. If LESSEE does not terminate this Agreement in accordance with the foregoing, this Agreement shall remain in full force and effect as to the portion of the Premises remaining, except that the rent shall be reduced in the same proportion as the rentable area of the Premises taken bears to the total rentable area of the Premises. In the event that this Agreement is not terminated by reason of such condemnation, LESSOR shall promptly repair any damage to the Premises caused by such condemning authority.

32. SUBMISSION OF AGREEMENT/PARTIAL INVALIDITY/AUTHORITY. The submission of this Agreement for examination does not constitute an offer to lease the Premises and this Agreement becomes effective only upon the full execution of this Agreement by the Parties. If any provision herein is invalid, it shall be considered deleted from this Agreement and shall not invalidate the remaining provisions of this Agreement. Each of the Parties hereto warrants to the other that the person or persons executing this Agreement on behalf of such Party has the full right, power and authority to enter into and execute this Agreement on such Party's behalf and that no consent from any other person or entity is necessary as a condition precedent to the legal effect of this Agreement.

33. APPLICABLE LAWS. During the Term, LESSOR shall maintain the Property in compliance with all applicable laws, rules, regulations, ordinances, directives, covenants, easements, zoning and land use regulations, and restrictions of record, permits, building codes, and the requirements of any applicable fire insurance underwriter or rating bureau, now in effect or which may hereafter come into effect (including, without limitation, the Americans with Disabilities Act and laws regulating hazardous substances) (collectively "Laws"). LESSEE shall, in respect to the condition of the Premises and at LESSEE's sole cost and expense, comply with (a) all Laws relating solely to LESSEE's specific and unique nature of use of the Premises (other than general office use); and (b) all building codes requiring modifications to the Premises due to the improvements being made by LESSEE in the Premises.

34. SURVIVAL. The provisions of the Agreement relating to indemnification from one Party to the other Party shall survive any termination or expiration of this Agreement. Additionally, any provisions of this Agreement which require performance subsequent to the termination or expiration of this Agreement shall also survive such termination or expiration.

35. CAPTIONS. The captions contained in this Agreement are inserted for convenience only and are not intended to be part of the Agreement. They shall not affect or be utilized in the construction or interpretation of the Agreement.

36. DISCRIMINATION. LESSEE agrees that pursuant to Nebraska Revised Statute §48-1122, LESSEE, its employees, contractors or agents, shall not discriminate against any employee or applicant for employment, to be employed in the performance of this Agreement with respect to his/her hire, tenure, terms, conditions or privileges of employment because of his/her race, color, religion, sex, disability or national origin.

37. TOWER CONSTRUCTION. The Parties agree that LESSEE shall remove and dispose of the existing light pole owned by LESSOR as described in Exhibit "B" attached hereto ("Existing Pole") located at the Property. Prior to the removal of the Existing Pole, LESSEE shall remove LESSOR's existing lights ("Lights") from the Existing Pole and place them on the new pole (referred to herein as, the "Tower"), to be constructed by LESSEE at the location described on Exhibit "B" attached hereto. LESSEE agrees that the removal and disposal of the Existing Pole and removal and reinstallation of LESSOR's Lights on the Tower shall be at the sole cost and expense of LESSEE. LESSEE agrees that the placement of LESSOR's Lights on the Tower shall be as additional consideration for LESSEE's use of the Property and LESSOR

shall not be required to pay rent to LESSEE for the use of such space on the Tower. LESSOR shall be solely responsible for the maintenance, repair and replacement of LESSOR's Lights located on the Tower. The cost of the electrical power for LESSOR's Lights shall be borne by LESSOR. LESSOR agrees to maintain LESSOR's Lights located on the Tower in good condition and repair and in compliance with all applicable laws, rules and regulations. LESSOR agrees that all construction, maintenance, removal or alteration of LESSOR's Lights shall be coordinated with and approved by LESSEE and any modifications thereto may require a structural analysis, the cost of which shall be paid by LESSOR. Notwithstanding the foregoing, LESSOR agrees that the Tower and all of LESSEE's equipment within the Premises shall remain the personal property of LESSEE.

It is understood and agreed that LESSEE's ability to construct the Tower and to use the Premises as provided herein is contingent upon LESSEE obtaining after the execution date of this Agreement all of the certificates, permits and other approvals (individually and collectively referred to as "Governmental Approvals") that may be required by any Federal, State or Local authorities, as well as satisfactory soil boring tests and structural analysis which will permit LESSEE's use of the Premises as set forth above.

38. STORAGE/MAINTENANCE BUILDING. Concurrent with construction of the Tower, LESSEE agrees, at its sole costs and expense, to construct and install an approximately 30' x 30' storage and maintenance building ("Building") on the Property. LESSEE agrees to construct the Building in accordance with the plans and specifications attached as Exhibit "C" to the Agreement. The parties agree that upon completion of construction ("Transfer Date") of the Building by LESSEE, LESSOR shall become the absolute owner of the Building and shall become vested with full title to the Building as further stipulated herein.

39. MAINTENANCE. Upon the Transfer Date, LESSOR shall be responsible for any and all maintenance and repair of the structural elements of the Building where LESSEE does not have exclusive control. During the Term, LESSEE will maintain the non-structural portions of the Building in good condition, reasonable wear and tear and casualty damage excepted. The Parties agree that during the Term of this Agreement, LESSEE shall be responsible for maintenance of any landscaping on the Premises installed by LESSEE as a condition of this Agreement or any required permit.

40. TRANSFER OF BUILDING. Within thirty (30) days following completion of construction of the Building on LESSOR's Property, in accordance with the terms of this Agreement, LESSEE shall transfer clear and merchantable title of the Building to LESSOR in "AS-IS" condition with no express or implied warranties, including but not limited to any warranties that the Building is merchantable or fit for any particular purpose. The Parties agree to execute and deliver a bill of sale in the form attached hereto as Exhibit "D". The bill of sale shall transfer title and ownership of the Building free and clear of all liens, security interests, encumbrances, and mortgages created by LESSEE's construction of the Building. LESSOR shall inspect the Building within the thirty (30) days following completion of construction of the Building. Thereupon, the Building shall become the personal property of LESSOR. Upon execution of the bill of sale by the Parties, LESSOR shall thereupon, be and become, the

absolute owner of and vested with full title to and ownership of the Building. Notwithstanding the foregoing, LESSEE shall retain ownership of its equipment, conduits, fixtures, all personal property and any improvements at the Premises.

[Signature Page to Follow]

IN WITNESS WHEREOF, the Parties hereto have set their hands and affixed their respective seals the day and year first above written.

LESSOR:

City of Springfield

Kathleen R. Gottsch

WITNESS

By: Michael Dill

Name: Michael Dill

Its: Mayor

Date: April 30, 2014

LESSEE:

**Omaha Cellular Telephone Company
d/b/a Verizon Wireless**

A. Heate

WITNESS

By: Lynn Ramsey

Name: Lynn Ramsey

Title: Area Vice President Network

Date: 4/25/14

Exhibit "A"
(Legal Descriptions of the Property and the Premises)

Legal Description of Parent Parcel

Buffalo Park Legal Description

The South 500 feet of the North 900 feet of the West 960 feet of the Southeast Quarter of Section 24, Township 13 North, Range 11 East of the Sixth P.M., Sarpy County, Nebraska. Also known as Tax Lot 37B and generally located at 305 South 6th Street.

Legal Description of Land Space

(LAND SPACE)

A LAND SPACE EASEMENT LOCATED IN PART OF TAX LOT 37B, A TAX LOT LOCATED IN THE NW1/4 OF THE SE1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID TAX LOT 37B, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF TAX LOT 36B, A TAX LOT LOCATED SAID SECTION 24, SAID POINT ALSO BEING A POINT ON THE EAST RIGHT-OF-WAY LINE OF S. 6TH STREET; THENCE N87°46'00"E (ASSUMED BEARING) ALONG THE NORTH LINE OF SAID TAX LOT 37B, SAID LINE ALSO BEING THE SOUTH LINE SAID TAX LOT 36B, A DISTANCE OF 312.52 FEET; THENCE S02°14'00"E, A DISTANCE OF 140.60 FEET TO THE POINT OF BEGINNING; THENCE N80°38'47"E, A DISTANCE OF 25.05 FEET; THENCE S14°09'20"E, A DISTANCE OF 32.61 FEET; THENCE S80°38'47"W, A DISTANCE OF 27.78 FEET; THENCE N09°21'13"W, A DISTANCE OF 32.50 FEET TO THE POINT OF BEGINNING.

SAID LAND SPACE EASEMENT CONTAINS 859 SQUARE FEET OR 0.0197 ACRES, MORE OR LESS.

Legal Description of Utility Easement Area

(UTILITY EASEMENT)

A 8.0 FOOT UTILITY EASEMENT LOCATED IN PART OF TAX LOT 37B, A TAX LOT LOCATED IN THE NW1/4 OF THE SE1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID TAX LOT 37B, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF TAX LOT 36B, A TAX LOT LOCATED SAID SECTION 24, SAID POINT ALSO BEING A POINT ON THE EAST RIGHT-OF-WAY LINE OF S. 6TH STREET, THENCE S03°09'19"E (ASSUMED BEARING) ALONG THE WEST LINE OF SAID TAX LOT 37B, SAID LINE ALSO BEING SAID EAST RIGHT-OF-WAY LINE OF S. 6TH STREET, A DISTANCE OF 36.36 FEET TO THE POINT OF BEGINNING; THENCE N85°59'00"E, A DISTANCE OF 79.91 FEET; THENCE N67°10'21"W, A DISTANCE OF 25.09 FEET; THENCE ON A CURVE TO THE RIGHT WITH AN RADIUS OF 40.00 FEET, A DISTANCE OF 13.01 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS N76°29'19"E, A DISTANCE OF 12.95 FEET; THENCE N85°48'17"E, A DISTANCE OF 33.96 FEET; THENCE S89°38'11"E, A DISTANCE OF 109.64 FEET; THENCE N54°43'59"W, A DISTANCE OF 43.23 FEET TO A POINT ALONG THE NORTH LINE SAID TAX LOT 37B, SAID POINT ALSO BEING ON THE SOUTH LINE OF TAX LOT 36B; THENCE N87°46'00"E ALONG SAID NORTH LINE OF TAX LOT 37B, SAID LINE ALSO BEING SAID SOUTH LINE OF TAX LOT 36B, A DISTANCE OF 13.14 FEET; THENCE S54°43'59"E, A DISTANCE OF 54.48 FEET; THENCE ON A CURVE TO THE RIGHT WITH AN RADIUS OF 39.00 FEET, A DISTANCE OF 39.43 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS S28°54'58"E, A DISTANCE OF 37.77 FEET; THENCE S00°02'40"W, A DISTANCE OF 75.87 FEET; THENCE S09°23'59"W, A DISTANCE 32.43 FEET; THENCE N80°38'47"E, A DISTANCE OF 44.30 FEET; THENCE S14°09'27"E, A DISTANCE OF 20.07 FEET; THENCE S80°38'47"W, A DISTANCE OF 53.96 FEET; THENCE N09°23'59"W, A DISTANCE OF 53.06 FEET; THENCE N00°02'40"E, A DISTANCE OF 76.54 FEET; THENCE ON A CURVE TO THE LEFT WITH AN RADIUS OF 31.00 FEET, A DISTANCE OF 48.69 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS N44°57'20"W, A DISTANCE OF 43.84 FEET; THENCE N89°38'11"W, A DISTANCE OF 110.97 FEET; THENCE S85°48'17"W, A DISTANCE OF 33.65 FEET; THENCE ON A CURVE TO THE LEFT WITH AN RADIUS OF 32.00 FEET, A DISTANCE OF 10.41 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS S76°29'19"W, A DISTANCE OF 10.36 FEET; THENCE S67°10'21"W, A DISTANCE OF 26.41 FEET; THENCE S85°59'00"W, A DISTANCE OF 81.35 FEET TO A POINT ON SAID WEST LINE OF TAX LOT 37B, SAID POINT ALSO BEING A POINT ON SAID EAST RIGHT-OF-WAY LINE OF S. 6TH STREET; THENCE N03°09'19"W ALONG SAID WEST LINE OF TAX LOT 37B, SAID LINE ALSO BEING SAID EAST RIGHT-OF-WAY LINE OF S. 6TH STREET, A DISTANCE OF 8.00 FEET TO THE POINT OF BEGINNING.

SAID 8.0 FOOT UTILITY EASEMENT CONTAINS 4,842 SQUARE FEET OR 0.111 ACRES, MORE OR LESS.

Exhibit "A"

(Legal Descriptions Continued)

Legal Description of Access Easement

(ACCESS EASEMENT)

A 20.0 FOOT ACCESS EASEMENT LOCATED IN PART OF TAX LOT 37B, A TAX LOT LOCATED IN THE NW1/4 OF THE SE1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID TAX LOT 37B, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF TAX LOT 36B, A TAX LOT LOCATED SAID SECTION 24, SAID POINT ALSO BEING A POINT ON THE EAST RIGHT-OF-WAY LINE OF S. 6TH STREET; THENCE S03°09'19"E (ASSUMED BEARING) ALONG THE WEST LINE OF SAID TAX LOT 37B, SAID LINE ALSO BEING SAID EAST RIGHT-OF-WAY LINE OF S. 6TH STREET, A DISTANCE OF 203.10 FEET TO THE POINT OF BEGINNING; THENCE N86°20'26"E, A DISTANCE OF 35.48 FEET; THENCE ON A CURVE TO THE LEFT WITH AN RADIUS OF 20.00 FEET, A DISTANCE OF 31.42 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS N41°20'26"E, A DISTANCE OF 28.28 FEET; THENCE N03°39'34"W, A DISTANCE OF 109.78 FEET; THENCE ON A CURVE TO THE RIGHT WITH AN RADIUS OF 40.00 FEET, A DISTANCE OF 49.45 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS N31°45'23"E, A DISTANCE OF 46.36 FEET; THENCE N67°10'21"E, A DISTANCE OF 24.06 FEET, THENCE ON A CURVE TO THE RIGHT WITH AN RADIUS OF 40.00 FEET, A DISTANCE OF 13.01 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS N76°29'19"E, A DISTANCE OF 12.95 FEET, THENCE N85°48'17"E, A DISTANCE OF 33.96 FEET, THENCE S89°38'11"E, A DISTANCE OF 111.46 FEET; THENCE ON A CURVE TO THE RIGHT WITH AN RADIUS OF 39.00 FEET, A DISTANCE OF 61.04 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS S44°47'45"E, A DISTANCE OF 55.00 FEET; THENCE S00°02'40"W, A DISTANCE OF 75.87 FEET; THENCE S09°23'59"E, A DISTANCE OF 32.43 FEET; THENCE N80°38'47"E, A DISTANCE OF 44.30 FEET, THENCE S14°09'27"E, A DISTANCE OF 20.07 FEET; THENCE S80°38'47"W, A DISTANCE OF 45.98 FEET, THENCE S09°23'59"E, A DISTANCE OF 30.00 FEET, THENCE S80°38'47"W, A DISTANCE OF 20.00 FEET, THENCE N09°23'59"W, A DISTANCE OF 84.06 FEET, THENCE N00°02'40"E, A DISTANCE OF 77.53 FEET, THENCE ON A CURVE TO THE RIGHT AN RADIUS OF 19.00 FEET, A DISTANCE OF 29.74 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS N44°47'45"W, A DISTANCE OF 26.80 FEET; THENCE N89°38'11"W, A DISTANCE OF 110.67 FEET; THENCE S85°48'17"W, A DISTANCE OF 33.17 FEET; THENCE ON A CURVE TO THE RIGHT WITH AN RADIUS OF 20.00 FEET, A DISTANCE OF 6.50 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS S76°29'19"W, A DISTANCE OF 6.48 FEET; THENCE S67°10'21"W, A DISTANCE OF 24.06 FEET; THENCE ON A CURVE TO THE RIGHT WITH AN RADIUS OF 20.00 FEET, A DISTANCE OF 24.73 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS S31°45'23"E, A DISTANCE OF 23.18 FEET; THENCE S03°39'34"E, A DISTANCE OF 109.78 FEET, THENCE ON A CURVE TO THE RIGHT WITH AN RADIUS OF 40.00 FEET, A DISTANCE OF 62.83 FEET, SAID CURVE HAVING A LONG CHORD WHICH BEARS S41°20'26"W, A DISTANCE OF 56.57 FEET; THENCE S86°20'26"W, A DISTANCE OF 35.66 TO A POINT ON SAID WEST LINE OF TAX LOT 37B, SAID POINT ALSO BEING SAID EAST RIGHT-OF-WAY LINE OF S. 6TH STREET; THENCE N03°09'19"W ALONG SAID WEST LINE OF TAX LOT 37B, SAID LINE ALSO BEING SAID EAST RIGHT-OF-WAY LINE OF S. 6TH STREET, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

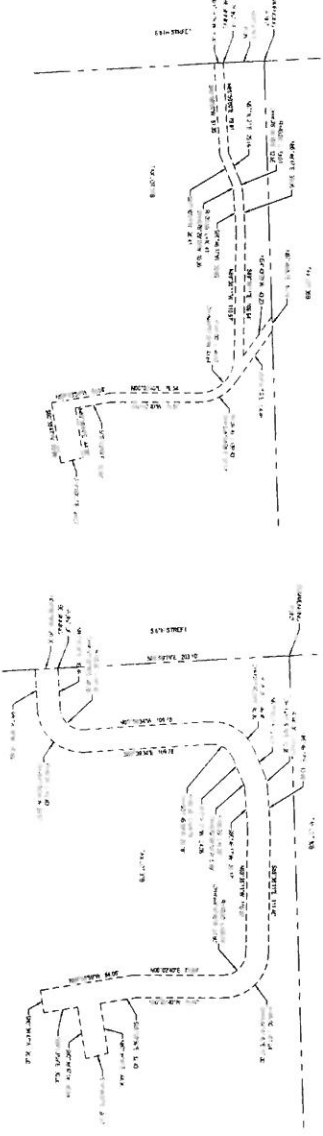
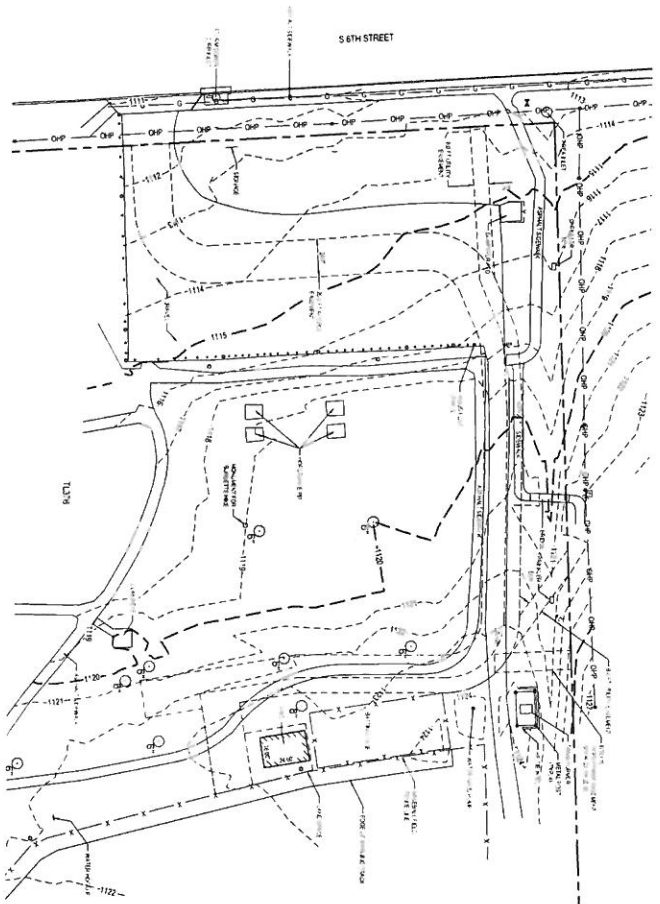
SAID 20.0 FOOT ACCESS EASEMENT CONTAINS 13,169 SQUARE FEET OR 0.302 ACRES, MORE OR LESS.

Exhibit "B"

(Survey)

See Attached

OMA SPRINGFIELD
 PART OF TAX LOT 298, LOCATED IN THE NW1/4 OF SECTION 24,
 TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA



RIGHT UTILITY EASEMENT
SCALE 1" = 50'

LEFT ACCESS EASEMENT
SCALE 1" = 50'

LAND SURVEY
SCALE 1" = 50'

LEGAL DESCRIPTION

A 2.51 FOOT ACCESS EASEMENT LOCATED IN PART OF TAX LOT 298, A TAX LOT LOCATED IN THE NW1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID TAX LOT 298, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF TAX LOT 298, A TAX LOT LOCATED IN THE NW1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

1. A 2.51 FOOT ACCESS EASEMENT LOCATED IN PART OF TAX LOT 298, A TAX LOT LOCATED IN THE NW1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

2. A 2.51 FOOT ACCESS EASEMENT LOCATED IN PART OF TAX LOT 298, A TAX LOT LOCATED IN THE NW1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

3. A 2.51 FOOT ACCESS EASEMENT LOCATED IN PART OF TAX LOT 298, A TAX LOT LOCATED IN THE NW1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

ACCESS EASEMENT

A 2.51 FOOT ACCESS EASEMENT LOCATED IN PART OF TAX LOT 298, A TAX LOT LOCATED IN THE NW1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID TAX LOT 298, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF TAX LOT 298, A TAX LOT LOCATED IN THE NW1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

1. A 2.51 FOOT ACCESS EASEMENT LOCATED IN PART OF TAX LOT 298, A TAX LOT LOCATED IN THE NW1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

2. A 2.51 FOOT ACCESS EASEMENT LOCATED IN PART OF TAX LOT 298, A TAX LOT LOCATED IN THE NW1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

3. A 2.51 FOOT ACCESS EASEMENT LOCATED IN PART OF TAX LOT 298, A TAX LOT LOCATED IN THE NW1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LEGAL DESCRIPTION

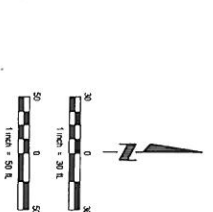
A 2.51 FOOT ACCESS EASEMENT LOCATED IN PART OF TAX LOT 298, A TAX LOT LOCATED IN THE NW1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID TAX LOT 298, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF TAX LOT 298, A TAX LOT LOCATED IN THE NW1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

1. A 2.51 FOOT ACCESS EASEMENT LOCATED IN PART OF TAX LOT 298, A TAX LOT LOCATED IN THE NW1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

2. A 2.51 FOOT ACCESS EASEMENT LOCATED IN PART OF TAX LOT 298, A TAX LOT LOCATED IN THE NW1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

3. A 2.51 FOOT ACCESS EASEMENT LOCATED IN PART OF TAX LOT 298, A TAX LOT LOCATED IN THE NW1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:



NOTE: FOR REFERENCE ONLY, THESE SYMBOLS REPRESENT ARE NOT FROM AN OFFICIAL SURVEY.

UTILITIES

THE LOCATION OF THE UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEYS. THE LOCATION OF THE UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEYS. THE LOCATION OF THE UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEYS.

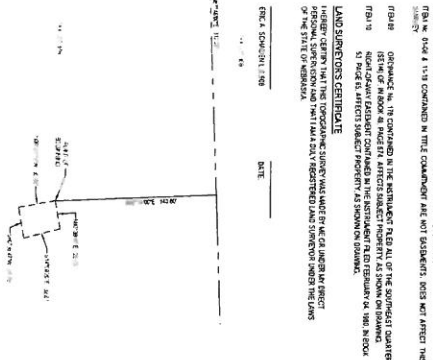
SCHEDULE B FROM THE COMPANMENT NO. 1287118

THE COMPANMENT NO. 1287118 IS A COMPANMENT IN THE COUNTY OF SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

1. A 2.51 FOOT ACCESS EASEMENT LOCATED IN PART OF TAX LOT 298, A TAX LOT LOCATED IN THE NW1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

2. A 2.51 FOOT ACCESS EASEMENT LOCATED IN PART OF TAX LOT 298, A TAX LOT LOCATED IN THE NW1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

3. A 2.51 FOOT ACCESS EASEMENT LOCATED IN PART OF TAX LOT 298, A TAX LOT LOCATED IN THE NW1/4 OF SECTION 24, TOWNSHIP 13 NORTH, RANGE 11 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:



LAND SURVEY
SCALE 1" = 50'

Rev. No.	Date	Description
01	08/09/2013	DESIGNED BY: [Name]
02		DRAWN BY: [Name]
03		SCALE: 1" = 50'
04		SHEET 1 OF 1

SURVEY

OMA SPRINGFIELD
SARPY COUNTY, NEBRASKA

9225 Indian Creek Pkwy, Suite 400
 Omaha, NE 68128
 Phone: 402.493.4338 Fax: 402.493.7777

Engineering • Planning • Environmental & Field Services

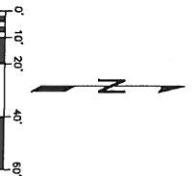
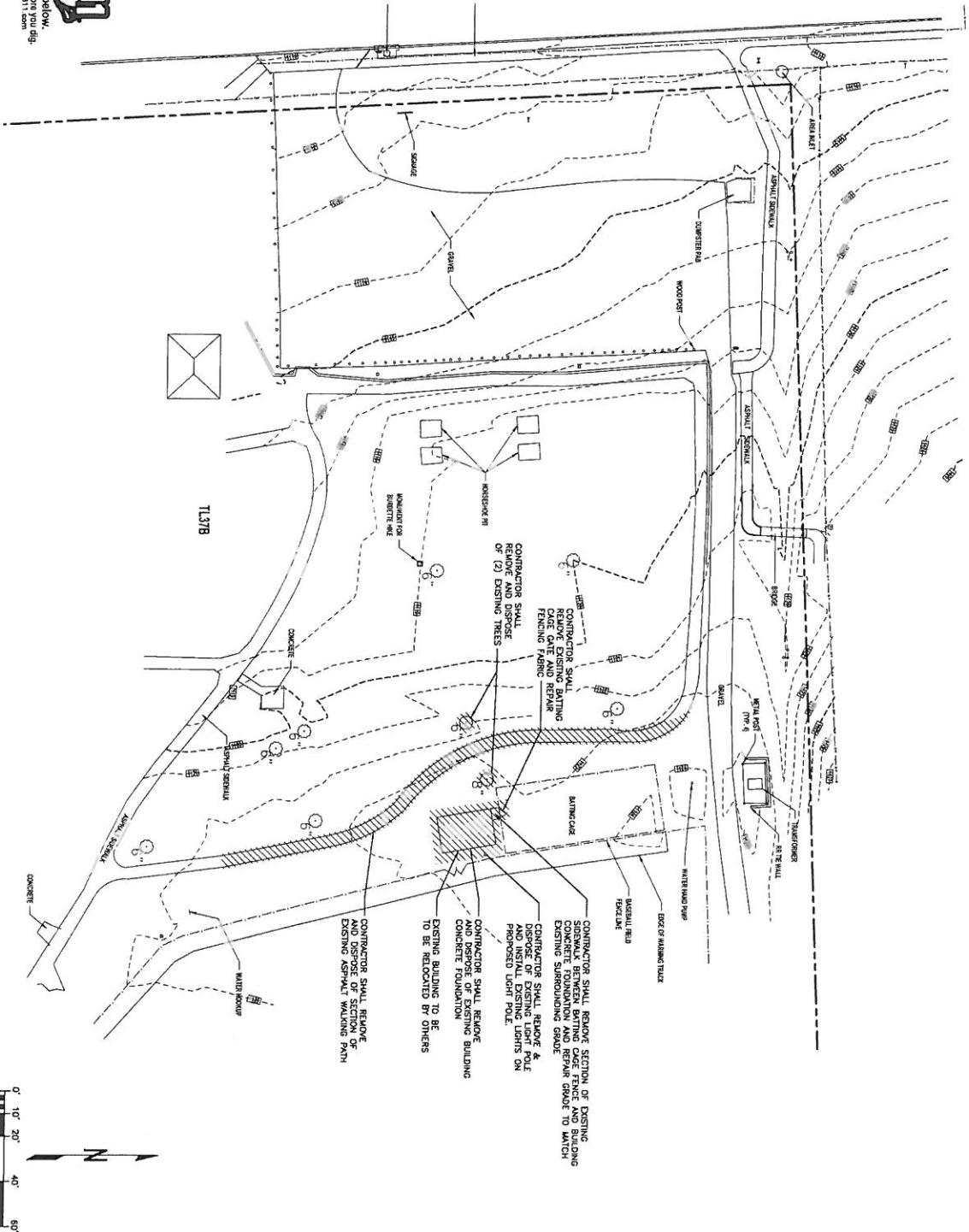
E & A CONSULTING GROUP, INC.
 Engineering • Planning • Environmental & Field Services

330 North 117th Street, Omaha, NE 68154
 Phone: 402.895.4700 Fax: 402.895.2099
 www.eagroup.com

Exhibit "C"
(Plans and Specifications)



DEMOLITION PLAN



PLANS PREPARED FOR



PLANS PREPARED BY
SSC
 14344 V Street, Suite 201
 Omaha, Nebraska 68137
 Phone: 402-916-4795
 Fax: 913-438-1117

OWNER'S USE ONLY

NO.	DATE	DESCRIPTION	BY	REV.
1	12/27/21	ISSUED FOR PERMITS	AK	A
2	07/17/24	ISSUED FOR PERMITS	AK	B

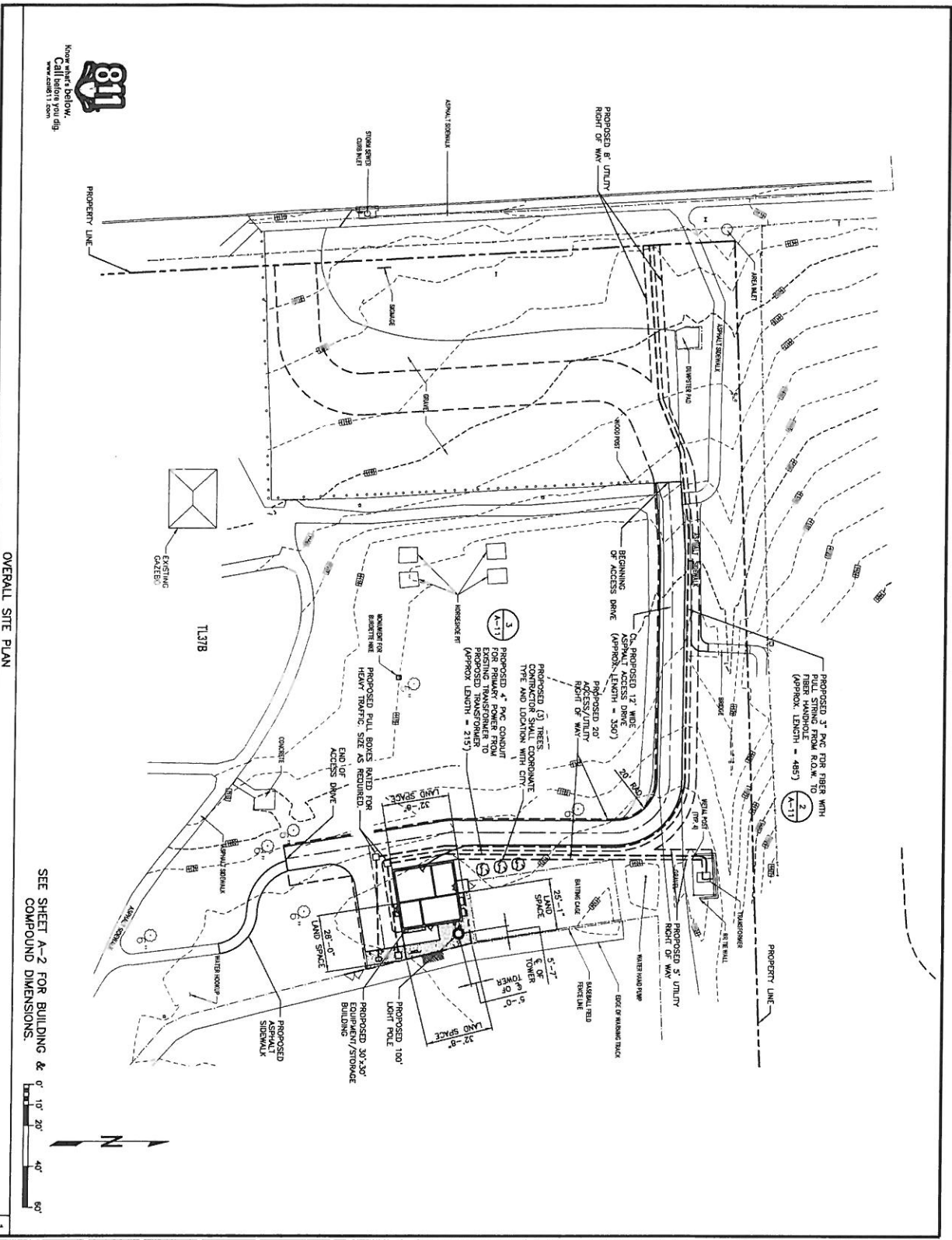
PRELIMINARY ISSUE

THIS PLAN IS THE PROPERTY OF SSC AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SSC.

OWNER: OMAHA BY VERIZON WIRELESS
 14344 V STREET, SUITE 201
 OMAHA, NEBRASKA 68137
 SITE NUMBER: 24-204

SHEET # 1
 SHEET NUMBER: **D-1**

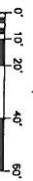
SITE NAME: OMA SPRINGFIELD
 SITE ADDRESS: 6TH AND MAPLE
 SPRINGFIELD, NEBRASKA
 68059
 DEMOLITION PLAN



Know what's below.
Call before you dig.
www.call811.com

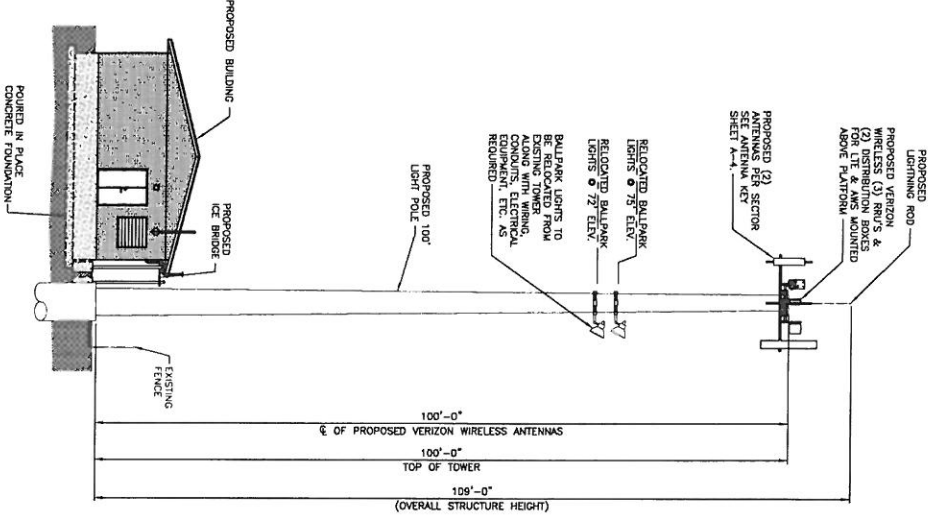
OVERALL SITE PLAN

SEE SHEET A-2 FOR BUILDING & 0' 10' 20' 40' 60'



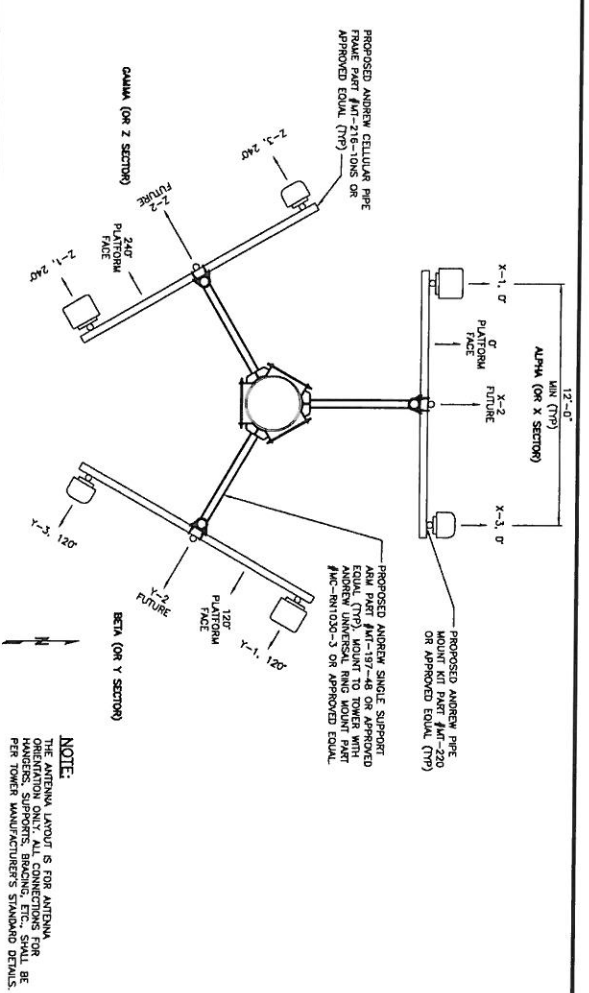
<p>Plans prepared for:</p> <p>1434 Y Street, Suite 201 Omaha, Nebraska 68137 Phone: 402-216-2195 Fax: 402-216-2177</p>	
<p>DESIGNED BY: VERDON WIRELESS</p> <p>DATE: 10/27/11</p> <p>BY: [Signature]</p> <p>PROJECT: OMA SPRINGFIELD</p> <p>SITE NUMBER: 267204</p>	
<p>OWNER: OMA SPRINGFIELD</p> <p>ADDRESS: 6TH AND MAPLE SPRINGFIELD, NEBRASKA 68059</p>	
<p>OVERALL SITE PLAN</p> <p>SHEET NUMBER: A-1</p>	

ALL TOWER INFORMATION SHOWN IS FOR ILLUSTRATION PURPOSES ONLY AND MAY DIFFER FROM THE FINAL DESIGN PROVIDED BY THE TOWER MANUFACTURER. THE TOWER MANUFACTURER'S DRAWINGS SHALL BE THE BASIS FOR CONSTRUCTION AND ALL OTHER RELATED COMPONENTS IN ACCORDANCE WITH THE TOWER MANUFACTURER'S DRAWINGS AND THE STRUCTURAL INTEGRITY OF THE PROPOSED TOWER OR PROPOSED TOWER FOUNDATION.



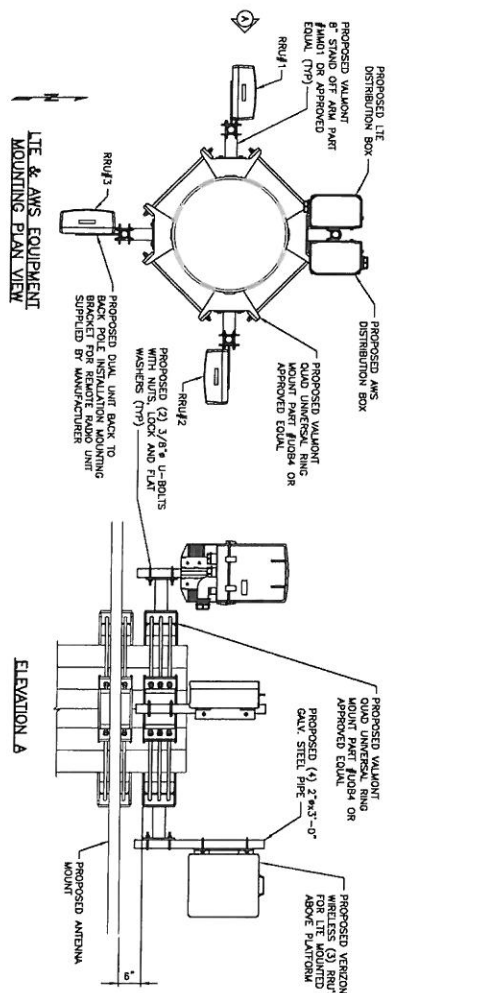
TOWER ELEVATION

3



ANTENNA LAYOUT

1



LTE & AWS EQUIPMENT MOUNTING PLAN VIEW

ELEVATION A

LTE & AWS EQUIPMENT MOUNTING DETAILS

2

PLANS PROVIDED FOR

14344 V Street, Suite 201
Omaha, Nebraska 68117
Phone 402.913.4795
Fax 813.458.7177

SSC

PRELIMINARY ISSUE

DESIGNED BY: VERIZON WIRELESS
SITE NAME: OMA SPRINGFIELD
SITE NUMBER: 267204

ISSUED FOR	DATE	BY
ISSUED FOR PER OWNER	12/29/11	AM A
ISSUED FOR PER OWNER	01/07/12	AM B

OMA SPRINGFIELD

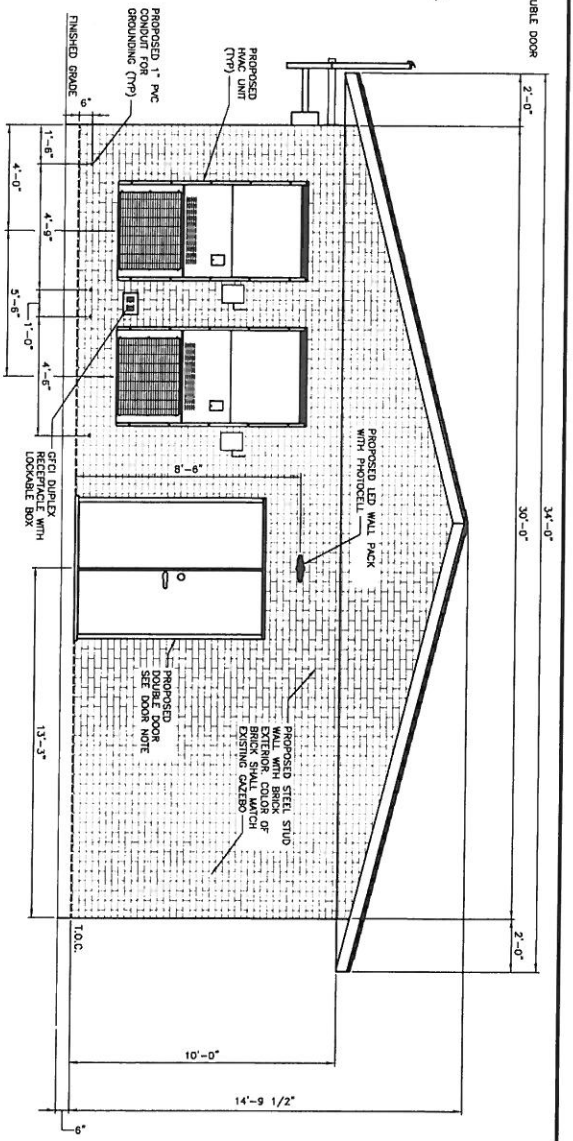
267204

6TH AND MAPLE
SPRINGFIELD, NEBRASKA
68059

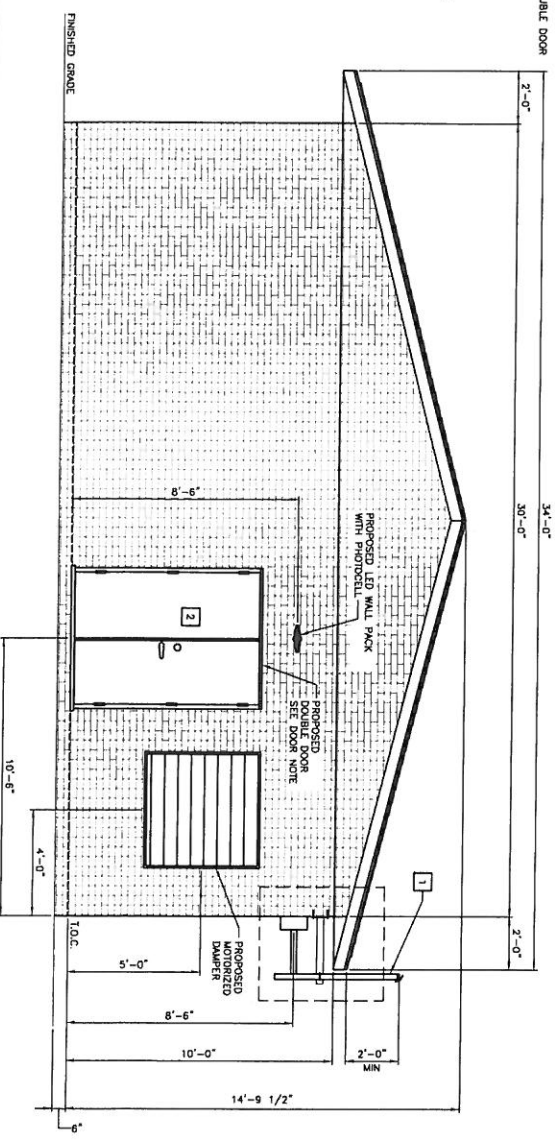
TOWER ELEVATION
& ANTENNA LAYOUT

A-3

DOOR NOTE:
 5. 3'-0" x 7'-2" x 1 3/4" 2-HR FIRE RATED HM DOUBLE DOOR
 6. 7" HM FRAME
 7. CONTRACTOR TO PAINT DOORS TO MATCH EXISTING GAZEBO BRICK COLOR
 8. REQUIRED HARDWARE SHALL INCLUDE:
 1. 2 1/2" KINGS W/ DULL BRONZE FINISH
 2. DEAD BOLT W/ THUMB TURN ON INSIDE
 3. STAINLESS STEEL LATCH GUARD
 4. ALUMINUM THRESHOLD.



DOOR NOTE:
 5. 3'-0" x 7'-2" x 1 3/4" 2-HR FIRE RATED HM DOUBLE DOOR
 6. 7" HM FRAME
 7. CONTRACTOR TO PAINT DOORS TO MATCH EXISTING GAZEBO BRICK COLOR
 8. REQUIRED HARDWARE SHALL INCLUDE:
 1. 2 1/2" KINGS W/ DULL BRONZE FINISH
 2. DEAD BOLT W/ THUMB TURN ON INSIDE
 3. STAINLESS STEEL LATCH GUARD
 4. ALUMINUM THRESHOLD.



NOTES:
 1. CONTRACTOR SHALL INSTALL GENERATOR EXHAUST AND SECURE TO BUILDING PER DETAIL 3, SHEET A-70.
 2. NATURAL GAS GENERATOR INSIDE

SOUTH BUILDING ELEVATION

PLANING PREPARED FOR:

Verizon wireless

PLANS PREPARED BY:

SSC 14341 Y Street, Suite 201
 Omaha, Nebraska 68137
 Phone: 402-918-4798
 Fax: 913-438-1777

PRELIMINARY ISSUE

DESIGNED BY: MICHAEL L. OWENS
 DRAWN BY: MICHAEL L. OWENS
 CHECKED BY: MICHAEL L. OWENS
 DATE: 07/17/11

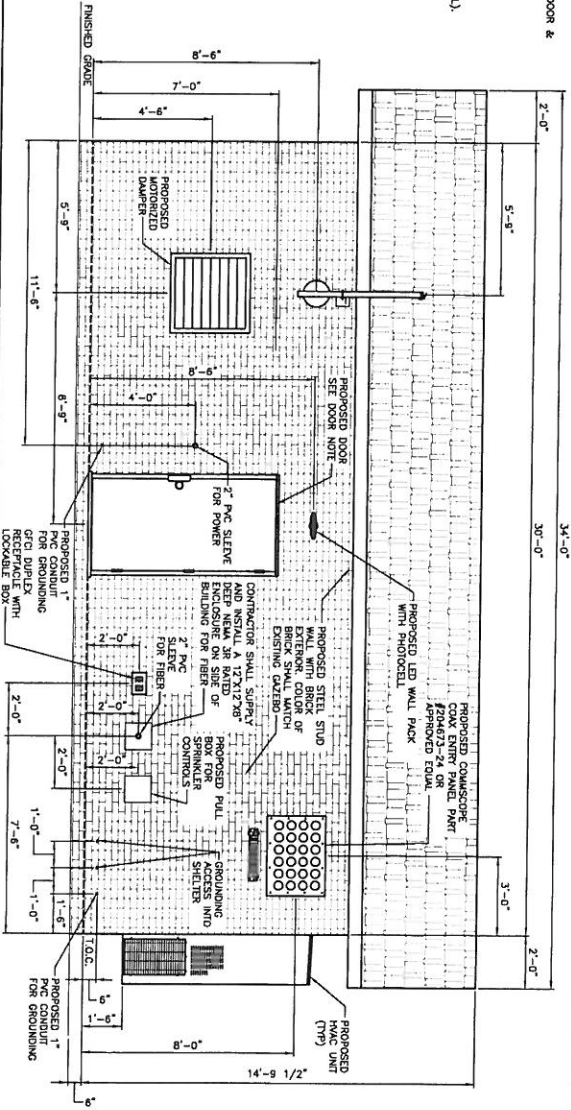
OWNED BY: VERIDON WIRELESS
 PROJECT NAME: OMA SPRINGFIELD
 SITE NUMBER: 28794

REVISION	DATE	BY	REASON
1	12/29/11	ML	ISSUED FOR PERMITS
2	07/17/11	ML	ISSUED FOR PERMITS

SHEET NUMBER: **A-7**

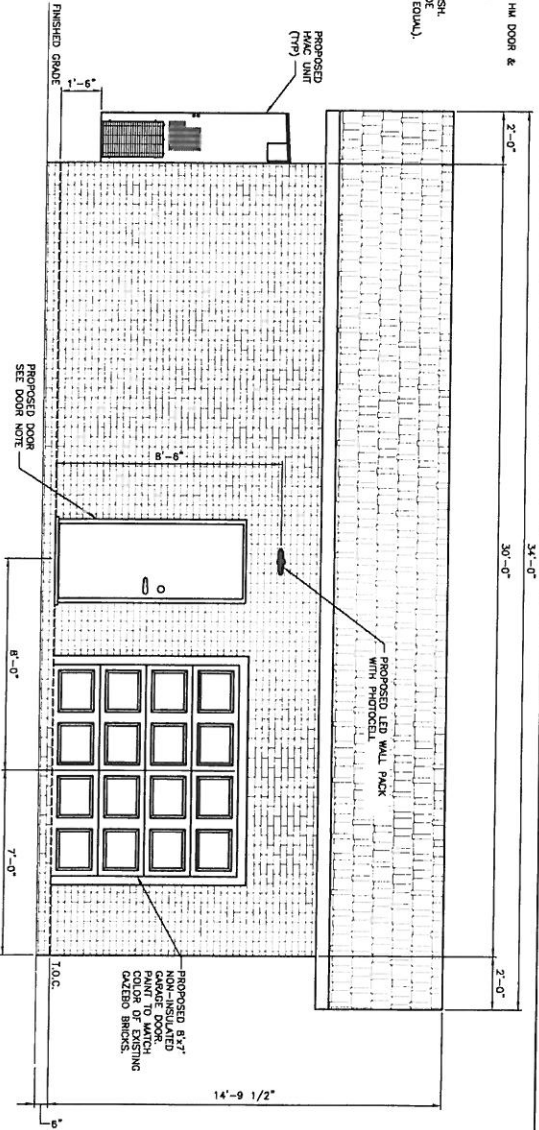
DOOR NOTE:

- 3'-6 3/4" x 2'-1 3/4" 2-HR FIRE RATED HW DOOR & 7" HW FRAME
- CONTRACTOR TO PAINT DOORS TO MATCH EXISTING OAKLEO BRICK COLOR
- REQUIRED HARDWARE SHALL INCLUDE:
 - 2 1/2" KNOBS W/ DULL BRONZE FINISH
 - 2 1/2" KNOBS W/ DULL BRONZE FINISH (SEE DETAIL FOR TURN ON INSIDE)
 - STAINLESS STEEL LATCH GUARD
 - ALUMINUM THRESHOLD



DOOR NOTE:

- 3'-6 3/4" x 2'-1 3/4" 2-HR FIRE RATED HW DOOR & 7" HW FRAME
- CONTRACTOR TO PAINT DOORS TO MATCH EXISTING OAKLEO BRICK COLOR
- REQUIRED HARDWARE SHALL INCLUDE:
 - 2 1/2" KNOBS W/ DULL BRONZE FINISH
 - 2 1/2" KNOBS W/ DULL BRONZE FINISH (SEE DETAIL FOR TURN ON INSIDE)
 - STAINLESS STEEL LATCH GUARD
 - ALUMINUM THRESHOLD



WEST BUILDING ELEVATION

5. AND REVISIONS FOR:

Verizon wireless

PLANS PREPARED BY: SSC 1434 Y Shell, Suite 201 Omaha, Nebraska 68137 Phone: 402-916-4795 Fax: 513-438-1777

FOUNDERIAL LICENSE: PRELIMINARY ISSUE

OWNED BY: VERIZON WIRELESS
 SITE NAME: OMA SPRINGFIELD
 SITE NUMBER: 267204

REVISION	DATE	BY	REVISION
1	12/27/11	AM	1
2	07/07/11	AM	3

SHEET INFORMATION: BUILDING ELEVATIONS (2 OF 2) SHEET NUMBER: A-8

Exhibit "D"

(Form of Bill of Sale)

BILL OF SALE

KNOW ALL MEN BY THESE PRESENTS, that Omaha Cellular Telephone Company d/b/a Verizon Wireless ("Seller"), in consideration of Ten and No/100ths Dollars (\$10.00), the receipt and sufficiency of which are hereby acknowledged, does hereby sell, assign, transfer, and set over unto the City of Springfield, a Nebraska municipal corporation ("Purchaser"), the personal property described on Exhibit B attached hereto situated in or on, or used in connection with the ownership, operation or maintenance of, the real property legally described on Exhibit A attached hereto, or any part thereof (the "Personal Property").

Purchaser acknowledges that the Personal Property may be regulated under laws relating to the protection of human health and the environment. Purchaser further acknowledges that it is the Purchaser's responsibility to comply with all applicable government requirements and to take all steps necessary to protect its employees and others who may be exposed to the Personal Property after the date of transfer from Seller to Purchaser. Purchaser acknowledges that the Personal Property may be regulated for many reasons including, but not limited to:

- (a) The Personal Property may have associated registration, permit, license, certification, reporting, closure, notification and/or other requirements in order to maintain, operate, service, remove, relocate, remove and/or dispose of the Personal Property;
- (b) The Personal Property may contain or operate with chemicals or components that contain materials or substances that are deemed toxic and/or hazardous under a Federal, State or local law and which may have the potential to cause injury to employees and/or the environment;
- (c) The Personal Property may have the potential for causing harm if operated or maintained improperly or without taking appropriate safety precautions; and/or
- (d) The Personal Property may also be subject to other regulatory requirements.

If any of the regulated Personal Property requires permits, registrations or other notifications and/or actions by or to the government after the date of transfer from Seller to Purchaser, then Purchaser agrees that it shall, within the time period allowed by law, file any and all documentation (and pay any fees) necessary to meet the applicable requirements and this shall include all actions necessary to assure that Purchaser, and not Seller, is named as the owner of and person responsible for such Personal Property.

Seller hereby represents and warrants to Purchaser that Seller is the absolute owner of said Personal Property, that said Personal Property is free and clear of all liens, charges and encumbrances, and that Seller has the full right, power and authority to sell said Personal Property and to make this Bill of Sale.

Seller makes no representation about the condition of the Personal Property. Purchaser has had the opportunity to examine the Personal Property and to satisfy itself of the condition of the Personal Property. Purchaser hereby accepts the Personal Property "AS IS" and at its own risk. Purchaser agrees to indemnify and hold Seller and its parent, affiliate and subsidiary companies harmless from any and all liability in connection with claims arising out of the compliance status of the Personal Property that arise after the date of this Bill of Sale and the ultimate disposal of the Personal Property. Except as may be required by law or expressly indicated in this document, **SELLER DISCLAIMS ALL WARRANTIES FOR THE PERSONAL PROPERTY WHETHER EXPRESSED OR IMPLIED, INCLUDING, BUT NOT LIMITED TO, ANY WARRANTIES THAT THE PERSONAL PROPERTY IS MERCHANTABILITY OR FIT FOR ANY PARTICULAR PURPOSE.**

TO HAVE AND TO HOLD the Personal Property unto Purchaser and Purchaser's legal representatives, successors and assigns forever.

IN WITNESS WHEREOF, Seller and Purchaser have executed this Bill of Sale as of the _____ day of _____, 201__.

PURCHASER:

City of Springfield, a Nebraska
municipal corporation

By: _____
Name: _____
Title: _____
Date: _____

SELLER:

Omaha Cellular Telephone Company d/b/a
Verizon Wireless

By: _____
Name: _____
Title: _____
Date: _____



SPRINGFIELD

NEBRASKA

MAYOR AND CITY COUNCIL REPORT
MAY 5, 2026 AGENDA

Agenda Item:	Subject:	Submitted By:
Regular Agenda Item 11	Consider a request from Brenda Robak, 240 N 1 st Street #10, to place a bench with a plaque along the Springfield / MoPac Trail by the butterfly garden	Barb Henninger City Clerk

Synopsis

Brenda Robak is requesting permission to purchase a bench and a plaque to be placed along the Springfield / MoPac Trail by the butterfly garden in memory of her daughter.

She is aware that the bench needs to match the other benches in that location and has been working with Jody Baughman on where to purchase the bench and plaque. City staff would help set the bench upon delivery.

Before her daughter's passing, she would use the trail to walk to work at Runza. She loved nature and Brenda feels that this would be a perfect stop for her memory bench to be placed.

The plaque would read as follows:

In loving memory
Rachel Kayann Robak
2001-2022

She would also like to add a photo of Rachel to the plaque if possible.

Recommendation

Council consideration.

Attachments

Agenda Item Request Form



SPRINGFIELD

NEBRASKA

Future Agenda Item Request

Date: April 29, 2026

Name: Brenda Robak

Address: 240 N 1st Street, #10, Springfield, NE 68059

Phone: 402.389.0995

Email: brobak20@msn.com

Requested Topic: A Bench dedicated in memory of my daughter

Details of the topic: My request would be behind our home on the path behind Runz, if possible, on the side of the sidewalk by the butterfly garden. My reason for this location is that she loved nature and walked this path almost daily to her job at Runza. I would love to have a place for her friends & family to visit, (they have asked me if there is a place they can visit her and unfortunately, we had her cremated, and she is in my home, so they really have no single place to go. I hope that made sense.

Please submit all supporting documents with this form.

I will be attending the council meeting. [] Yes [x] No

FOR OFFICE USE ONLY

Date Received: _____ Received by: _____

Action Taken: _____

Follow Up Needed: _____

Signed: _____ Date: _____



SPRINGFIELD

NEBRASKA

MAYOR AND CITY COUNCIL REPORT
MAY 5, 2026 AGENDA

Agenda Item:	Subject:	Submitted By:
Regular Agenda Item 12	Discuss water meter replacement procedures	Kathleen Gottsch City Administrator

Synopsis

The city's longstanding practice has been to require property owners to replace water meters located inside their homes or businesses when those meters stop working. Under this approach, the responsibility for coordinating and completing the replacement has rested with the property owner.

Recently, staff reviewed how other municipalities handle water meter replacements. Through this research, staff discovered that many cities utilize their own staff to replace water meters, even when those meters are located inside private residences or commercial buildings. This approach allows municipalities to maintain greater control over meter accuracy, replacement timing, and overall utility system management.

Prior to considering a change in practice, staff consulted with the city's commercial insurance carrier to ensure that allowing city staff to perform this work would not create additional liability concerns. After reviewing the city's water meter ordinance and current insurance coverage, the carrier determined that city staff can install water meters and that any potential insurance issues arising from that work would be covered under the city's existing policy.

According to Jody Baughman, Utility Billing Clerk, there are approximately 80-100 accounts showing zero water reads. While some of these zero reads may be explained by seasonal residents ("snowbirds"), or businesses that operate seasonally or remain inactive during the winter months, staff believes that a significant portion of these accounts likely have non-functioning water meters that require replacement.

Non-working meters can lead to inaccurate billing and potential revenue loss, making timely replacement important for both operational and financial reasons.

Staff believes that allowing city personnel to replace water meters would significantly improve the efficiency of the replacement process and help ensure more accurate and timely utility billing.

To address safety and accountability concerns, staff proposes to adopt the following procedures:

- Two city staff members would enter residences or businesses together when replacing meters.
- Staff members would notify a supervisor when entering and exiting a property.
- This notification process would also allow the city to track meter replacements and identify any additional issues discovered during the visit.

Allowing city staff to complete water meter replacements would:

- Improve the speed and efficiency of replacing non-functioning meters.
- Help ensure accurate water usage readings and billing.
- Provide better tracking and documentation of meter replacements.
- Reduce delays that can occur when relying on property owners to coordinate replacement.
- Maintain financial stability within the water department by reducing lost revenue.

As you may recall, the Council previously discussed this item at the March 17, 2026, Council meeting but no decision was made. Below is an excerpt from those minutes:

Agenda Item 10. *Gottsch reported that she contacted the city's insurance company regarding the city maintenance department replacing non-working water meters, further noting that the city is covered for this service. City office staff have reached out to other cities and learned that they all have their city crews install non-working meters. Neitzel doesn't think it is a good idea to have city crews installing them in the older parts of town because of aging pipes and the potential liability to the city. Herzog would like to see the install completed for disabled residents. Craney would like to have the maintenance department install all non-working meters, with a 30-day window to have it completed. Murtha would like to have two employees on the job site at all times and document the before and after installations, further noting the possible need to schedule installations after normal business hours.*

Recommendation

Council consideration. Staff needs immediate direction so we can get the non-working meters replaced as soon as possible to eliminate lost revenue.

Attachments

None